

Welcome to tonight's City Council meeting!

The elected officials of the City of Bonners Ferry are appreciative of an involved constituency. Testimony from the public is encouraged concerning issues when addressed under the Public Hearing portion of the agenda. Any individual who wishes may address the council on any issue, whether on the agenda or not, during the Public Comments period. Normal business will preclude public participation during the business portion of the meeting with the discretion left to the Mayor and Council. Special accommodations to see, hear, or participate in the public meeting should be made at City Hall within two days of the public meeting.

Vision Statement

Bonners Ferry, "The Friendliest City", strives to achieve balanced growth, builds on community strengths, respects natural resources, promotes excellence in Government, and values quality of life.

AGENDA
CITY COUNCIL MEETING
Bonners Ferry City Hall
7232 Main Street
267-3105
June 6, 2017
7:00 p.m.

PUBLIC HEARING

PLEDGE OF ALLEGIANCE

GUESTS

Gary Leonard – 4th of July Celebration

Toni Hackwith, Anderson Bros. CPAs – Fiscal Year 2016 Audit Presentation

PUBLIC COMMENTS

Each speaker will be allowed a maximum of five minutes, unless repeat testimony is requested by the Mayor/Council

REPORTS

Police/Fire/City Administrator/Economic Development Coordinator/Urban Renewal District

CONSENT AGENDA

1. Call to Order/Roll Call
2. Approval of Bills and Payroll
3. Treasurer's Report
4. Approval of May 16, 2017 Council Meeting Minutes and May 30, 2017 Special Council Meeting Minutes

OLD BUSINESS

NEW BUSINESS

5. City – Authorize Mayor to Sign Certified Statement of Intended Use for Fireworks Purchase (attachment)

6. City – Adopt Resolution 2017-06-01 Providing Guidelines and Standards for Providing Effective Communications in Compliance with the American’s with Disabilities Act (attachment)
7. City – Approve Catering Permit for Mugsy’s for Bull Bash on June 9, 2017 at the Fairgrounds (attachment)
8. City – Approve Revised Beverage License for Yoni Solis doing business as Mi Pueblo (attachment)
9. City – Deliberate toward a Decision on the Catholic Church Special Use Permit (attachment)
10. City – Recreational Vehicle Discussion (attachment)

EXECUTIVE SESSION PURSUANT TO IDAHO CODE 74-206, SUBSECTION 1

(a) To consider hiring a public officer, employee, staff member or individual agent, wherein the respective qualities of individuals are to be evaluated in order to fill a particular vacancy or need. This paragraph does not apply to filling a vacancy in an elective office or deliberations about staffing needs in general;

(b) To consider the evaluation, dismissal or disciplining of, or to hear complaints or charges brought against a public officer, employee, staff member or individual agent, or public school student;

(c) To acquire an interest in real property which is not owned by a public agency;

(d) To consider records that are exempt from disclosure as provided in chapter 1, title 74, Idaho Code;

(e) To consider preliminary negotiations involving matters of trade or commerce in which the governing body is in competition with governing bodies in other states or nations;

(f) To communicate with legal counsel for the public agency to discuss the legal ramifications of and legal options for pending litigation, or controversies not yet being litigated but imminently likely to be litigated. The mere presence of legal counsel at an executive session does not satisfy this requirement;

(g) By the commission of pardons and parole, as provided by law;

(h) By the custody review board of the Idaho department of juvenile corrections, as provided by law;

(i) To engage in communications with a representative of the public agency's risk manager or insurance provider to discuss the adjustment of a pending claim or prevention of a claim imminently likely to be filed. The mere presence of a representative of the public agency's risk manager or insurance provider at an executive session does not satisfy this requirement; or

(j) To consider labor contract matters authorized under section 67-2345A [74-206A] (1) (a) and (b), Idaho Code.

ADJOURNMENT

INFORMATION

11. Electric/Water/Sewer – Profit Loss Reports (attachment)
12. City – Public Hearing for Dos Ramos Annexation on June 19, 2017 at 5:00 p.m. (attachment)
13. Water – Water Quality Report for 2016 (attachment)

Suggested format for compliance with 27 CFR 555.103(b)

CERTIFIED STATEMENT OF INTENDED USE

This is to certify that City of Bonners Ferry, Idaho
Company Name

P. O. Box 149
Company Address

Bonners Ferry, ID 83805
City, State, Zip Code

82-6000166 Taxpayer Identification No. Governmental Agency Federal Explosive License/Permit No. N/A Expiration Date

Intends to use explosive material for the purpose of 4th of July Fireworks
Intended Use

CERTIFIED LIST OF EMPLOYEES AUTHORIZED TO RECEIVE EXPLOSIVES

This is to certify that the following employees are authorized to receive explosive materials on behalf of the licensee/permittee.

Name
Alan Hamilton
Gary Leonard, Volunteer

I certify that the above information is true and correct.

Signature

Mayor
Title

June 6, 2017
Date

Please attach certified copy of license/permit.

BONNERS FERRY RESOLUTION NO. 2017-06-01

RESOLUTION TO PROVIDE GUIDELINES AND STANDARDS FOR PROVIDING EFFECTIVE COMMUNICATIONS IN COMPLIANCE WITH THE AMERICAN'S WITH DISABILITY ACT.

WHEREAS, The American's with Disability Act (ADA) was enacted in 1990 to provide a clear and comprehensive national mandate for the elimination of discrimination against individuals with disabilities and to provide clear, strong, consistent, enforceable standards addressing discrimination against individuals with disabilities; and

WHEREAS, people with disabilities cannot participate in government-sponsored programs, services or activities if they cannot understand what is being communicated; and

WHEREAS, providing effective communication for individuals means offering auxiliary aids and services to enable someone with a disability to participate in the conducting of City business; and

WHEREAS, the following resolution attempts to assist city staff with conducting effective communication with individuals or groups who require special assistance.

NOW THEREFORE, Be it ordained by the Mayor and the Council of the City of Bonners Ferry, Idaho, that the following is hereby adhered to:

EFFECTIVE COMMUNICATION POLICY

1. Notification/Contact: Anyone who requires an auxiliary aid or service for effective communication, or a modification of policies or procedures to participate in a program, service or activity of the City of Bonners Ferry should contact the City as soon as possible but not later than 48 hours before a scheduled event.
2. Assessment: The City should strive to meet the needs of the public and to effectively communicate with individuals that need special assistance. In order to determine one's

need for effective communication, staff should have the requesting member of the public fill out an Effective Communication Assessment Form provided by the City.

3. Needs of the Public: Based on the needs of the requesting public, the City should make every effort to provide arrangements with the member of the public to ensure that they can participate in conducting of City business. The City should give primary consideration of the choice of aid or service to the person who has a communication disability where it would not result in an “undue burden” upon the City to provide such service.
4. Prohibition of Charges. All appropriate auxiliary aids and services shall be provided free of charge to the member of the public who are disabled or in need of effective communication when such aids or services are necessary to ensure effective communication.
5. Notification to the Public: The City shall provide adequate notice on all forms, agendas and meeting material of the right to effective communication and the required timing and notice that the public shall give the city to provide the effective communication devices.
6. Primary Service Unavailable: Where it is determined that the City is unable to accommodate a primary choice of aid or service for effective communication, a written letter by the City will be sent to the requestor outlining what options the City has for accommodating their specific disability. The written letter by the City should outline reasons why the primary service, program or activity would fundamentally alter or would result in undue financial and administrative burdens by the City.

This Resolution is hereby **ADOPTED** and made **EFFECTIVE** by the City of Bonners Ferry this

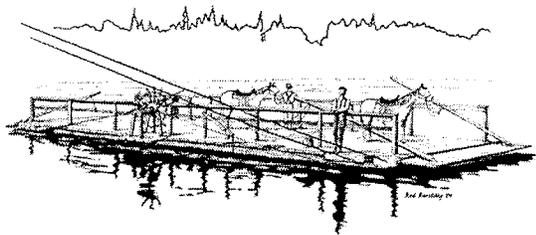
_____ day of _____, 2017.

CITY OF BONNERS FERRY, IDAHO

BY: _____
Mayor

Attest:

Clerk, City of Bonners Ferry



CITY OF BONNERS FERRY

7232 Main Street
P.O. Box 149
Bonners Ferry, Idaho 83805
Phone: 208-267-3105 Fax: 208-267-4375

Effective Communication Assessment Form

Date of request: _____ Staff person conducting assessment _____

1. Contact information of person requesting auxiliary aids or services:

Name: _____ Phone: _____

Email: _____

2. Describe the program, service or activity you plan to attend _____

3. Date of activity _____ Time of activity _____

4. Location of activity _____

5. What is the nature of your disability that requires auxiliary aids or services?

- | | |
|--|--|
| <input type="checkbox"/> Deaf | <input type="checkbox"/> Hard of Hearing |
| <input type="checkbox"/> Disability | <input type="checkbox"/> Blind |
| <input type="checkbox"/> Visually Impaired | <input type="checkbox"/> Other _____ |

6. Relationship:

- | | |
|---|--|
| <input type="checkbox"/> Self | <input type="checkbox"/> Family Member |
| <input type="checkbox"/> Friend / Companion | <input type="checkbox"/> Other _____ |

7. Please check one of the boxes below next to your choice of Interpreter Services. If your preferred service is not listed, please identify and describe.

- | | |
|---|---|
| <input type="checkbox"/> American Sign Language (ASL) interpreter | <input type="checkbox"/> Signed English interpreter |
| <input type="checkbox"/> Video Interpreting Services (VIS) | <input type="checkbox"/> Oral Translators |
| <input type="checkbox"/> Qualified Reader | <input type="checkbox"/> Other- Describe: _____ |

8. Please check one or more of the boxes below if you are requesting any of the following auxiliary aids or services for effective communication. If your preferred aid or service is not listed, please identify and explain.

- | | |
|---|---|
| <input type="checkbox"/> TTY/TDD (text telephone) | <input type="checkbox"/> Video Relay Services (VRS) |
| <input type="checkbox"/> Assistive listening device (sound amplifier) | <input type="checkbox"/> Qualified note-takers |
| <input type="checkbox"/> Writing back and forth | <input type="checkbox"/> Other. Describe: _____ |

We are requesting your information so you can participate in our programs, services or activities. All communication aids and services are provided **FREE OF CHARGE**.

If you need further assistance, please contact _____. If you have any questions please call our office _____ (voice), _____ (TTY), _____ email or visit us during business hours.

**CITY OF BONNERS FERRY
CATERING PERMIT APPLICATION**

Owners Name: Danielle & Michael Reasoner
Business Name: Mugsy's Tavern & Grill
Business Address: 916 Main Street
Bonnors Ferry, ID 83805
State Beverage License Number: 9B-17382

I hereby request a catering permit for the following dates: June 9, 2017
from the hours of 5:00 a.m./p.m. to 10:00 a.m./p.m. at the
following location: Fair grounds

Catering will be done for the following group or organization sponsoring the
event: Bull Bash

Type of Event: Rodeo
Wine: _____ Beer: Hard Liquor: _____

Danielle Reasoner 5/24/17
Signature of the Licensee Date
Danielle Reasoner
Printed Name

Address: PO Box 957 BF Phone: 597-5519

Date Submitted to City Council _____

A non-refundable fee of \$20 per day is required with the application

Please make check payable to: City of Bonners Ferry
P. O. Box 149
Bonners Ferry, ID 83805

RECEIVED
MAY 24 2017
CITY OF BONNERS FERRY

No. 2017- 12 Revised

City of Bonners Ferry

2017

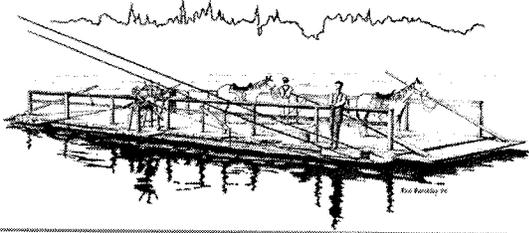
RETAIL ALCOHOL BEVERAGE LICENSE

THIS IS TO CERTIFY THAT Yoni Salis doing business as Mi Puella is licensed to sell Alcoholic Beverages as stated below, subject to the provisions of Chapter 23-903 and 23-916 Idaho Code Annotated, the laws of the State of Idaho, and Municipal Ordinances on file in the Office of the City Clerk, in regard to the sale of alcoholic liquor within the corporate limits of the City of Bonners Ferry, Idaho.

On Premises		APPROVED:	
LIQUOR	000.00		
BEER: Container Only	00.00		Mayor
Draft/Container	100.00	ATTEST:	
WINE	100.00		Clerk
Off Premises			
BEER: Container	00.00		Date
Keg, Jug and container	000.00		
WINE	000.00		
Transfer Fee-Liquor, Beer, Wine	00.00		
TOTAL FEE \$	<u>\$200.00</u>		

THIS LICENSE EXPIRES DECEMBER 31, 2017

This License Must Be Conspicuously Displayed



CITY OF BONNERS FERRY

7232 Main Street
P.O. Box 149
Bonners Ferry, Idaho 83805
Phone: 208-267-3105 Fax: 208-267-4375

STAFF REPORT FOR BONNERS FERRY CATHOLIC CHURCH SPECIAL USE PERMIT –CITY COUNCIL FILE #SUP08-17

Prepared by: Lisa M. Ailport, AICP
City Planner

Project Description: The applicant is seeking special use permit approval to construct a church in the Residential A Zone at a property known as 6712 El Paso Street. The site is the former location of the Bonners Ferry Catholic Church before it was demolished by fire in late April of 2016.

Location: The site is located at 6712 El Paso Street

Parcel size: ± 1.8 of an acre

Applicant: Bonners Ferry Catholic Church

Applicant's Representative: Erik Brubaker

Property Owner: Bonners Ferry Catholic Church

Application Filed with City: March 3, 2017

Notice Provided: Mailed: April 27, 2017
Site Posted: May 11, 2017
Published in Paper: April 27, 2017

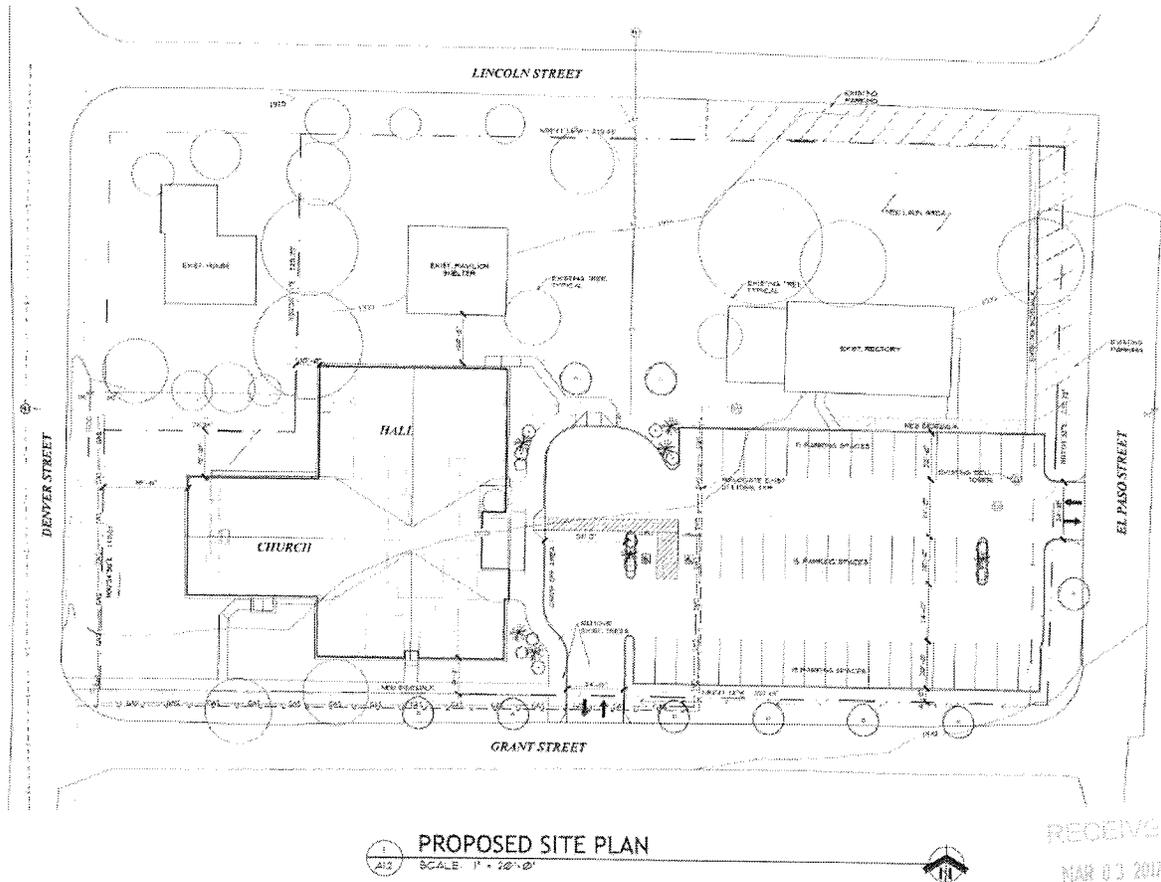
Hearing Dates: Planning and Zoning: May 18, 2017
City Council: June 6, 2017 (deliberations only)

Packet Information: Staff Report
Application and Site Plan(s)
Agency Comments
Public Comments (if any)

APPLICABLE CITY CODES:

§11-5-3, Limitations
§11-5-5 General Standards
§11-13-2 & 3- Provisions, Design and Maintenance
§11-14-5, & 8 Signs, sign setbacks (Ord. 554)

§11-5-4- Application filing contents
§11-5-6, Conditions and Safeguards
§11-13 4, &5 Off-Street Parking
§11-2-3 & Appendix B, Table 2 (Ord. 553)



PROJECT OVERVIEW/ SUMMARY

The applicant, Bonners Ferry Catholic Church, is seeking approval to locate a church on property zoned Residential A. The property has historically been used as church but was considered non-conforming or grandfathered by current zoning regulations. When the former church burned down in April of 2016, the Church sought to rebuild the structure which required conformity with Bonners Ferry City Code (BFCC). According to the commercial use table, Churches are provided in the Residential A district conditionally, and require the City Planning and Zoning Commission and City Council authorize the use through a special use permit (BFCC Appendix B, Commercial Use Table).

The proposal seeks to rebuild the former church on a new location of the property and include authorization for the rectory and pavilion that are currently located on the property. The new church will be approximately 12,000 square feet in size and has a 300 seat occupancy. The overall size, according to the applicant, isn't much different than the former building's size. However, the former building divided up the 12,000 square feet between multiple stories, where the proposed building accommodates the church on one story. Therefore the overall

size of the building will increase, but the overall square footage will not change much (applicant's testimony).

The former church fronted off of El Paso with parking around the building (see site plans) and the new location of the church will still provide access from El Paso Street, but will be set back off of El Paso to allow for an off-street parking lot. Grant Street will provide a pedestrian access and Lincoln and El Paso has some existing angled on-street parking. No access or parking is shown off of Denver Street.

According to the current parking standards §11-13-5, Bonners Ferry City Code (BFCC) provides that one off-street space is required per 4 seats for Churches or other places of religious assembly. With occupancy set at 300 seats as indicated with the application, the total off-street parking spaces required is seventy five (75) spaces. The applicant proposes to provide 51 spaces off-street and an additional 21 spaces of existing on-street parking.

According to Chapter 11, parking requirements are to be met exclusive of on-street parking and furthermore the standard requires that all parking lots have vehicles making forward movements when entering a city street (11-13-3C). To allow the on-street parking in accordance with this section would be a deviation from the standard and in staff's opinion a violation of §11-13-2A.

"No building or structure shall be erected, substantially altered or its use changed unless permanently maintained off street parking has been provided in accordance with the provisions of this chapter. The number of off street parking spaces, to be provided in accordance with this chapter, shall be provided for all permitted, accessory or special uses in any district."

A condition requiring a parking plan be submitted and approved by the City Engineer/Administrator has been proposed. It stipulates that prior to issuances of the special use permit; the applicant is required to supply the City with an approvable parking plan that meets the requirements of the parking ordinance and is acceptable by the City Engineer (see condition #4, Page 8).

The Bonners Ferry Catholic Church proposes to remove existing utilities from the interior alley and replace them within the streets surrounding property. This proposal was initially sought as a result of an already approved vacation of the 16-foot wide public alleyway that runs through the block from east to west. As a condition of approval of the vacation, the church agreed to enter into a development agreement to move the existing city utilities from the public alley to the streets. However, the City has yet to vacate the right-of-way because the development agreement has not been finalized. Once the vacation is recorded, the land will revert back to the Church and neighboring property owner.

Lastly, staff has provided an analysis that looks at the standards of approval relating to this request and is provided later in this report.

PROPERTY DESCRIPTION

Site Acreage: ±1.8 acres (±78,000 square feet), known as Assessor Parcel RPB0780002010AA

- A. Access: The site is served by El Paso Street, a paved public right-of-way. Grant, Denver and Lincoln Street bound the property as well.
- B. Services: The site is served by City sewer and water; the site is also within the City

fire district, and is served by City police.

C. Table of surrounding uses and zones:

Compass	Comp Plan Designation	Current Zoning	Surrounding uses/Densities
Site	Residential	Residential A	Currently operating a church from a temporary building
North	Residential	Residential A	Residential Homesites ±10,000 square foot lots
South	Residential	Residential A	Residential Homesites, ±8,000 square foot lots
East	Residential	Residential A	First Baptist Church ±2.3 acres in size
West	Residential	Residential A	United Methodist Church ±2-acres

AGENCY COMMENTS

The City Departments met on April 13, 2017 and a letter from the City Engineer was submitted to the record.

The City Traffic Safety Committee met on April 13 at City Hall. The draft minutes have been included with the file supporting the application approval by council but with the requirement that the parking be designed where no backing movements are allowed onto a city street.

PUBLIC COMMENTS

Bob Norton commend to the file on May 16, 2017. His concerns centered around parking in the neighborhood and the bell that is rung at different intervals prior to all services held by the Church.

ANALYSIS:

Pursuant to Bonners Ferry City code §11-5-5, the governing body shall review the particular facts and circumstances of each proposed special use in terms of the following standards and shall find adequate evidence showing the proposed use will meet the standards.

Standards Review Table- Bonners Ferry City Code (see applicable codes above)	Findings Based upon evidence of record
Is the special use is provided for in city code?	11-2-3- Appendix B Table shows Churches are an allowed use by special use permit issuances
Will the proposed use be harmonious with objectives of the comprehensive plan and zoning ordinance?	According to the application, St. Ann’s Catholic Church (BF Catholic Church) is a traditional worship place and includes regular services, social and religious education functions and hold regular weekly masses.
Is proposed use harmonious and appropriate in appearance with the existing or intended character of the general vicinity and will not change the essential character of the area?	The site has historically been used as a church; churches are located both east and west of the location (staff report);
Will the use be hazardous or disturbing to existing neighborhood uses?	According to the application, it does not appear the uses occurring will contain hazardous materials or have detrimental effect on neighboring landowners. The church

Standards Review Table- Bonners Ferry City Code (see applicable codes above)	Findings Based upon evidence of record
	and relative functions have previously been occurring on the site
Will use be adequately served by essential public facilities and services?	The site is currently served by City water, sewer and electric. The previously approved vacation of the alley required removal of the existing utilities and to be placed in the public streets. Once the utilities have been relocated to the city streets the new lines would continue to serve the lot and future uses.
Will use cause excessive public expenditures for services or be detrimental to economic welfare of community?	The church with approval to vacate the public alley are required to replace the utilities that are currently located within the alley and place them in the public road way. A development agreement is required as a condition of approval of the vacation of right-of-way. As of date, those improvements have yet to be completed.
Will the proposed use involve uses, activities, processes, materials, equipment and conditions of operation that will be detrimental to any persons, property or general welfare by excessive traffic, noise, smoke, fumes, glare or odors, or other factors determined to be nuisances?	The application notes that the site will operate as a typical place of worship, which includes weekly masses and community events such as, Holiday, evening or midnight masses and other religious gatherings (application).
Are vehicle approaches designed to avoid interference with traffic on surrounding public thoroughfares?	The application proposes to locate an interior parking lot which at the time of application shows 51 spaces. Existing on-street parking along El Paso and Lincoln Street has been in existence for a number of years. Prior to SUP issuances, it is recommended the Council condition the application to require compliance with the parking standards for churches.
Will proposed use result in destruction, loss or damage of natural, scenic, or historic features of major importance?	No buildings are proposed for removal; except for the removal of the temporary modular building. There are no known historic features of major importance on the site.
Additional zoning standards	Evidence of record
Parking requirements of §11-13-5 require 1 space for every 4 seats.	51 spaces are shown; condition #4 requires that prior to issuances the applicant shall provide a parking lot that meets the standards for approval by the City.

Standards Review Table- Bonners Ferry City Code (see applicable codes above)	Findings Based upon evidence of record
Signs	No signs are proposed
Standards of specific use	Currently there are no standards of specific uses for Churches within Title 11.

RECOMMENDATION BY P/Z COMMISSION

At a May 18, 2017 public hearing, the City Planning and Zoning Commission made a unanimous recommendation of approval to the City Council.

DRAFT MOTIONS BY THE PLANNING & ZONING COMMISSION:

Motion to Approve: I move to approve this file SUP08-17, for a Church in the Residential A Zone, finding that it is in accordance with the City of Bonners Ferry zoning codes, as enumerated in the findings and standards table above.

I further move to adopt the following reasoned statement and conditions of approval as written (or as amended). The actions to be taken to obtain the special use permit is to complete the conditions of approval as adopted.

Motion to Deny: I move to deny this file SUP08-17 for a Church located at 6712 El Paso in the Residential A Zone finding that it is not in accord with the general and specific goals and standards of the City of Bonners Ferry comprehensive plan and zoning codes.

Furthermore, I move to adopt the following reasoned statements: (READ STATEMENTS, SPECIFYING WHETHER THE PROJECT MEETS OR FAILS TO MEET THE STANDARDS, BASED UPON THE FINDINGS OF RECORD).

The actions to be taken to receive approval is:

1. Submit a new petition that meets the standards of the City of Bonners Ferry special use permit applications; or
2. Pursue such remedies as provided for at Title 67 Chapter 65, Idaho Code.

REASONED STATEMENTS

***The staff report and subsequent evidence in the record are the basis for the findings required in order to reach a reasoned decision. Based upon those findings, the following reasoned decisions are adopted by the Bonners Ferry Planning & Zoning Commission/City Council:**

Reasoned Statements:

1. The special use **IS/IS NOT** a special use, as allowed for in the zone district in which it is located.

Finding: Section 11-2-3 Appendix B provides for Churches in the Residential A zone conditionally.

2. The use **WILL/WILL NOT** be harmonious with and in accordance with the general objective or specific objective of the comprehensive plan, based upon the evidence of record enumerated in the findings above.

Finding: According to the application, St. Ann's Catholic Church (BF Catholic Church) is a traditional worship place and includes regular services, social and religious education functions and hold regular weekly masses.

Finding: The site has historically been used as a church; churches are located both east and west of the location (staff report)

3. The use **WILL/WILL NOT** be designed, constructed, operated and maintained to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity. Therefore, the use **WILL/WILL NOT** change the essential character of the area.

Finding: The site has historically been used as a church, churches exists both east and west of the proposed location.

4. The use **WILL/WILL NOT** be hazardous or disturbing to existing neighboring uses.

Finding: According to the application, it does not appear the uses occurring will contain hazardous materials or have detrimental effect on neighboring landowners. The church and relative functions have previously been occurring on the site

5. The use **IS/IS NOT** served by adequate public facilities and services, or that the person responsible for providing such services **WILL/WILL NOT** be able to provide any such service.

Finding: The site is currently served by City water, sewer and electric. The previously approved vacation of the alley required removal of the existing utilities and to be placed in the public streets. Once the utilities have been relocated to the city streets the new lines would continue to serve the lot and future uses.

6. The use **WILL/WILL NOT** create excessive additional requirements at public cost for public facilities and services and **WILL/WILL NOT** be detrimental to the economic welfare of the community.

Finding: The church with approval to vacate the public alley are required to replace the utilities that are currently located within the alley and place them in the public road way. A development agreement is required as a condition of approval of the vacation of right-of-way. As of date, those improvements have yet to be completed. A condition requiring the development agreement to be entered into is conditions with #6 of this request.

7. The use **WILL/WILL NOT** involve activities, processes, materials, equipment and conditions of operation that will be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare, odor, or other factors determined to be nuisances.

Finding: The application notes that the site will operate as a typical place of worship, which includes weekly masses and community events such as, Holiday, evening or midnight masses and other religious gatherings (application).

8. The use **WILL/WILL NOT** have vehicular approaches to the property that create interferences with traffic on surrounding public thoroughfares.

Finding: The application proposes to locate an interior parking lot which at the time of application shows 51 spaces. Existing on-street parking along El Paso and Lincoln Street have been in existence for a number of years. Prior to SUP issuances, it is recommended the Council condition the application to require compliance with the parking standards for churches.

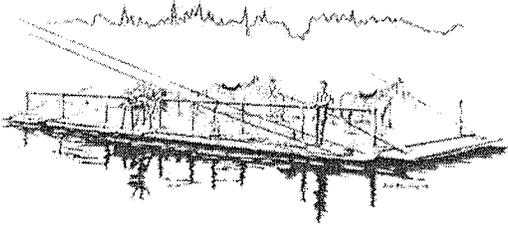
9. The use **WILL/WILL NOT** result in the destruction, loss or damage of a natural, scenic or historic feature of major importance.

Finding: No buildings are proposed for removal; except for the removal of the temporary modular building. There are no known historic features of major importance on the site.

CONDITIONS OF APPROVAL

1. All applicable conditions of approval shall be met or maintained prior to issuance of the Special Use Permit by the City. Any condition that runs with the land shall stay in affect while the use is in operation. Subsequent owners of the parcel shall be required to apply for a special use permit if they desire to continue the special use, pursuant to Bonners Ferry City Code §11-5-3. Failure to meet any condition of approval may be grounds for revocation of the permit by the City.
2. Pursuant to I.C. 67-6512(D)(2-3), the City may regulate the timing and duration of development. Therefore, this special use permit shall expire if not issued by the city within two (2) years of the date of written approval.
3. The use shall be developed and operated in accordance with the approved application, site plan, and/or conditions as approved with this application. Failure to operate within the bounds of this permit, may result in revocation of the permit by the City. The use is approved for no more than a 300-person occupancy within the church.
4. The applicant shall submit a parking plan, designed in accordance with the City Parking Ordinance, Title 11, Chapter 13 of Bonners Ferry City Code to the satisfaction of the City Administrator/Engineer. Wherein a minimum of 75 spaces of off-street parking is provided for the operation of the church at the location. In addition, once approved by the City Engineer the parking plan shall be kept and maintained for the life of the use at the facility. None of the dedicated parking spaces shall be used for vehicle sales, storage, repair work or dismantling, pursuant to Bonners Ferry City Code §11-13-2(K).
5. Prior to building occupancy of the new facility, the modular or temporary structure shall be removed to the satisfaction of the City.
6. Prior to building permit issuances the City shall record the vacation of right-of-way for the alley which shall include a development agreement which includes at a minimum the following topics be addressed:
 - a. Construction plan approval process by the City and Idaho Dept of Environmental Quality,
 - b. Construction timing and completion,

- c. Performance bonding for any work involving public utilities;
- d. Warranty bonding for completion of public work that includes, but is not limited to, boring, paving or reconstruction of any public streets;
- e. Acceptance of Record Drawings,
- f. Other areas as determined by the City.



CITY OF BONNERS FERRY

7232 Main Street
P.O. Box 149
Bonners Ferry, Idaho 83805
Phone: 208-267-3105 Fax: 208-267-4375

Special Use Permit Application

FOR OFFICE USE ONLY:

FILE #

SUP 08-17

RECEIVED:

RECEIVED

MAR 03 2017

BACM12313

45

CITY OF BONNERS FERRY

WSD. 00

APPLICANT INFORMATION:

Landowner's name: Bonners Ferry Catholic Church

Mailing address: PO Box 58

City: Bonners Ferry

State: ID

Zip code: 83805

Telephone: 208 267 8222

Fax:

E-mail: st_anns@frontier.com

REPRESENTATIVE'S INFORMATION:

Representative's name: Erik Brubaker

Company name: Brubaker Planner

Mailing address: 4291 Upper Pack River

City: Sandpoint

State: ID

Zip code: 83864

Telephone: 208 946 1761

Fax:

E-mail: spawningtrout@gmail.com

PARCEL INFORMATION:

Section #: 34 Township: 62N Range: 01E Parcel acreage: 1.82

Parcel # (s): RPB0780002010AA , RPB0780002005BA

Legal description: Lots 6-10 & Lots 2-5 Block 2 Nixons Hillcrest Add.

Current landowner's name: Bonners Ferry Catholic Church

Current zoning: Res A

Current use: Church

Directions to site: From Bonners Ferry City Hall, south on HWY 2/95 a half mile. Bear left onto El Paso St. south 3 blocks on El Paso. The property is on the right at 6712 El Paso St.

APPLICANT NARRATIVE:

A Special Use Permit is a permit for a use which is specifically listed use within a zoning district as Special Use. If the use is not listed as either allowed or special, then the use is prohibited. All special uses in the City of Bonners Ferry shall seek approval of the use by recommendation by the Planning and Zoning Commission and approval of the City Council. Any modification of a special use requires an additional hearing by the City Council to approve the modification. The applicant shall to the best of their abilities provide the Council with accurate information about the special use they are seeking. The council may at its discretion approve, approve with conditions or deny an application, pursuant to I.C. 67-6509.

PROJECT DESCRIPTION

The applicant is requesting a ~~Special Use~~ or **Modification to a Special Use** (circle one) for:

Describe in detail the use—number of employees, hours of operation, size of buildings, etc. Use additional paper if necessary:

St. Ann's Catholic Church is proposing to rebuild on the existing church site. St. Ann's Parish is a traditional worship place and includes regular services, social, and religious education functions. St. Ann's holds regular weekly masses and includes a resident Priest and an administrative office. Religious services include occasional holiday mass that may include late evening or midnight masses.

Does the proposed use seek to extend any services, such as roads, sewer and/or water? If so, please explain what services are proposed to be extended: Yes, utilities will be relocated pursuant to the terms of alley vacation VC001-16.

Will land be offered for dedication as a result of this application? If so explain in detail:
N/A

Describe surrounding land uses (ex: residential housing, commercial, manufacturing, etc):

North Residential

South Residential

East Church

West Church

Describe adjacent zoning and densities (ex: Single Family (R-1) Platted 10k sq.ft., Commercial lots etc):

North Platted +/-10,000 sf lots

South Platted +/-10,000 sf lots

East 1 church/acre

West 1 church/acre

SITE INFORMATION: Please provide a general description of the lay of the land (ex: is the property flat, have any bodies of water or wetlands present, what existing structures and uses are present etc.)

Property gently slopes on a northwest aspect. Half of the site is developed with a church rectory, parking lot and gravel pad where the old church was located. A temporary modular worship hall known commonly as "St. Ann's in a box" is located on the eastern edge of the property on El Paso street. The site complements a quiet residential neighborhood as it transitions from more intense uses toward the highway. Site is most of a block bound by paved city streets on all sides.

Directions to site (Please be specific)

From Bonners Ferry City Hall head south on Highway 95 south to El Paso street. Bear left on El Paso
Go three blocks south and the site is on your right. 6712 El Paso St.

STANDARDS FOR REVIEW (BFCC§11-5-5)

Explain how the proposed use constitutes an allowable special use established by Bonners Ferry Zoning Code: The residential A Zoning District provides for churches as a special use. As established, the Residential A district provides for a mix of uses and densities and a traditional church is a perfect fit. The proposed project will comply with height standards subject to BFCity Code Section 11-9-2a and 11-9-2b. Standard zoning district setbacks will be met pursuant to City Code Section 11-2-4 and as shown in attached Exhibit A. Building will not approach the streets to the north or east. Parking requirements for a worship hall are 75 for a church seating up to 300 people. The requisite parking spaces will be met with a combination of existing and new spaces similar to those shown of the attached conceptual site plan. (Exhibit B)

Explain how the proposed use will conform to the zone district in which it is located (Example, the applicant is meeting all the zoning requirements, such as signage, lighting and landscaping that is required of it in the zone district that it is located?):

Project will meet any applicable zoning requirements including signage, lighting, and landscaping as required.

How will the proposed use be compatible and harmonious with adjacent properties? What measures is the applicant taking to insure the use will be compatible with surrounding property owners? (Example, is the applicant proposing to limit the operating hours to reduce noise during the evening or morning hours to adjacent landowners?)

Bonners Ferry Catholic Church is a traditional church, a civic use, and has a long history of functioning in a manner harmonious with the neighborhood. As proposed, St. Ann's will continue to operate in a manner consistent with how it has in past. A traditional building and civic function; the surrounding neighborhood is built around churches with similar uses to the east and west of the subject site.

Explain how the proposed use will utilize existing utilities, or how the applicant proposes to extend services to the site?

Existing utilities service the site, however, if the alley is vacated pursuant to the terms of File VC001-16. Then utilities will be relocated in the mutual interest of the City and the Parish. See attached draft utility plans (Exhibit D) which will be implemented pursuant to the aforementioned terms of VC001-16. In addition to the utilities that service the site, the project will help protect off site water quality, drainage, and offsite streets and surface water conveyance ditches. Exhibit C illustrates a drainage plan to improve both treatment and retention of a substantial portion of the sites impervious surfaces.

How does the proposed use comply with the applicable standards Bonners Ferry City Zoning Code?

The proposed St. Ann's Church reconstruction will be harmonious and appropriate for the site. Project is generally consistent with historic church use of the property. Project will comply will all applicable standards of the Zoning Code.

Explain how the proposed use is in general compliance with the goals of the Comprehensive Plan (attached additional paper if necessary):

This project will be harmonious and appropriate, as well as generally consistent with the existing neighborhood. The Residential A zoning district, devised in deference to the comprehensive plan, exists in support of a mix of uses with a use such a traditional church being a textbook example of this. A good fit in a quiet community neighborhood close to other civic uses including other churches and near schools as well.

I hereby certify that all the information, statements, attachments and exhibits submitted herewith are true to the best of my knowledge. I further grant permission to the City and its representatives to enter upon the subject land to make examinations, post the property or review the premises relative to the processing of this application.

Applicant's signature:  Date: March 3 2017

Landowner's signature: Roman Catholic Boise Date: March 3 2017

BOUNDARY COUNTY, IDAHO

IN WITNESS WHEREOF, The said parties of the first part have hereunto set their hands and seals the day and year first above written.

Willfred F. Smith
Ruth Smith

STATE OF IDAHO }
County of Boundary } ss.

On this 17th day of May, 1963, before me, the undersigned Notary Public, personally appeared WILLFRED F. SMITH, known to me to be the person whose name is subscribed to the within instrument and acknowledged to me that he executed the same.

(Notarial Seal)

Watt E. Prather
Notary Public for Idaho
Residing at Bonners Ferry
Com. Exp.: 8/4/65

STATE OF IDAHO }
County of Boundary } ss

On this 17th day of May, 1963, before me, the undersigned Notary Public, personally appeared RUTH SMITH, known to me to be the person whose name is subscribed to the within instrument and acknowledged to me that she executed the same.

(Notarial Seal)

Watt E. Prather
Notary Public for Idaho
Residing at Bonners Ferry
Com. Exp.: 8/4/65

STATE OF IDAHO }
County of Boundary } ss

Filed for record at the request of Boundary Abstract on the 4 day of June 1963 at 1:50 o'clock p.m., and recorded in Book 35 of Deeds on page 297.

Fee \$1.75

Marian Mosenbrink, County Recorder
By M. Runyan, Deputy

8 9 4 8 2

COMPANED

WARRANTY DEED

IN CONSIDERATION of one (\$1.00) Dollar and other valuable consideration, receipt of which is hereby acknowledged by grantor, WALTER L. GASEY, JR., a single man, resident of Bonners Ferry, County of Boundary, State of Idaho, grantor, does hereby grant, bargain, sell and convey unto THE ROMAN CATHOLIC DIOCESE OF BOISE, Idaho, a corporation, grantees, the following described property:

Lots Two (2), Three (3), Four (4), Five (5), Six (6), Seven (7), Eight (8), Nine (9) and Ten (10), Block Two (2), Nixon's Hillcrest Addition to the Village of Bonners Ferry, Idaho, according to the plat thereof on file with the Boundary County, Idaho, Recorder.

to have and to hold the said premises with their appurtenances unto the grantees, its heirs and assigns forever. And the grantor does hereby covenant to and with the said grantees that he is the owner in fee simple of said premises and that they are free from all encumbrances and that he will warrant and defend the same from all lawful claims whatsoever.

DATED this 6th day of June, 1963.

Walter Lee Casey, Jr.

STATE OF IDAHO }
County of Boundary } ss.

On this 6th day of June, 1963, before me, the undersigned Notary Public, personally appeared WALTER L. GASEY, JR., a single man, known to me to be the person whose name is subscribed to the within instrument, and acknowledged to me that he executed the same.

(Notarial Seal)

Feter B. Wilson
Notary Public for Idaho
Residing at Bonners Ferry
Comm. Exp.: 11/23/61

SUP 08-17
RECEIVED

MAR 03 2017

CITY OF BONNERS FERRY

COMMUNITY TITLE OF BOUNDARY COUNTY
6607 Main
Post Office Box 1902
Bonners Ferry, Idaho 83805

WARRANTY DEEDS

STATE OF IDAHO }
County of Boundary }

Filed for record at the request of Boundary Abstract on the 6 day of June 1963 at 4:15 o'clock p.m., and recorded in Book 35 of Deeds on page 298.

Fee \$1.50

Marian Hasenbrink, County Recorder
By M. Runyan, Deputy

(R/W) DH-351 (Rev. 10/10/58) 89498

PARCEL No. 30 WARRANTY DEED

KNOW ALL MEN BY THESE PRESENTS, THAT Russell N. Soderling and Pearl Soderling, husband and wife, of ---, County of Boundary, State of Idaho, first parties, for and in consideration of One and 00/100--Dollars, to them paid, receipt whereof is acknowledged, have granted, bargained, sold and conveyed, and by these presents do grant, bargain, sell and convey unto the State of Idaho, second party, its successors and assigns forever, the following described parcel of land situated in the County of Boundary, State of Idaho, to-wit:

A parcel of land being on both sides of the center line of U.S. Highway No. 95, Project No. F-5116(10) Highway Survey as shown on the plans thereof now on file in the office of the Department of Highways of the State of Idaho, and being a portion of the SE $\frac{1}{4}$ NW $\frac{1}{4}$, the SW $\frac{1}{4}$ NE $\frac{1}{4}$, and Government Lot 1 of Section 9, a portion of Government Lot 5 of Section 4, Township 61 North, Range 1 East, Boise Meridian, described as follows, to-wit:

Commencing at the Northeast corner of Government Lot 5 of Section 4, Township 61 North, Range 1 East, Boise Meridian; thence Southerly along the East line of said Government Lot 5 a distance of 330.0 feet; thence due West 108.77 feet; thence South 17°40'20" West, 181.66 feet to a point that bears North 70°43'43" West, 60.0 feet from Station 449+51.93 of said U.S. Highway No. 95, Project No. F-5116(10) Highway Survey; thence South 40°45'26" West, 238.0 feet, more or less, to a point in Grantors Northerly property fence line and being the REAL POINT OF BEGINNING; thence continuing South 40°45'26" West, 130.0 feet, more or less, to a point in a line parallel with and 180.0 feet Northwesterly from the center line and opposite Station 446+00 of said Highway Survey; thence South 22°16'17" West, along said parallel line, 300.0 feet to a point opposite Station 443+00 of said Highway Survey; thence South 18°30'18" West, 500.9 feet to a point that bears North 67°43'43" West, 150.0 feet from Station 438+00 of said Highway Survey; thence South 24°14'23" West, 582.39 feet to a point that bears North 67°43'43" West, 170.0 feet from Station 432+17.96 of said Highway Survey; thence South 3°56'03" East, 218.78 feet to a point that bears North 64°43'43" West, 70.0 feet from Station 430+17.96 of said Highway Survey; thence South 31°41'14" West, 411.09 feet to a point that bears North 51°54' West, 70.0 feet from Station 425+90.34 of said Highway Survey; thence South 48°49'02" West 198.08 feet to a point that bears North 48°54' West 100.0 feet from Station 423+90.34 of said Highway Survey; thence South 43°29'54" West; 597.41 feet to a point that bears North 48°54' West 125.0 feet from Station 417+93.45 of said Highway Survey; thence South 41°22'24" West 364.54 feet to a point that bears North 25°01'30" West, 140.0 feet from Station 414+43.45 of said Highway Survey; thence South 20°10'56" West, 498.0 feet, more or less, to a point in the South line of the SE $\frac{1}{4}$ NW $\frac{1}{4}$ of Section 9, Township 61 North, Range 1 East, Boise Meridian; thence Easterly along said South line 243.0 feet, more or less, to a point in a line parallel with and 150.0 feet Southeastery from the center line of said Highway Survey; thence Northeastery along said last parallel line being a 1487.02 foot radius curve right 23.0 feet, more or less,

COMMUNITY TITLE OF BOUNDARY COUNTY
6607 Main
Post Office Box 1902
Bonners Ferry, Idaho 83805

LOTS 2-10, BLOCK 2, OF NIXON'S HILLCREST ADDITION,
 LYING IN A PORTION OF THE NE 1/4 OF SECTION 34,
 TOWNSHIP 62 NORTH, RANGE 1 EAST, BOISE MERIDIAN,
 BOUNDARY COUNTY, IDAHO

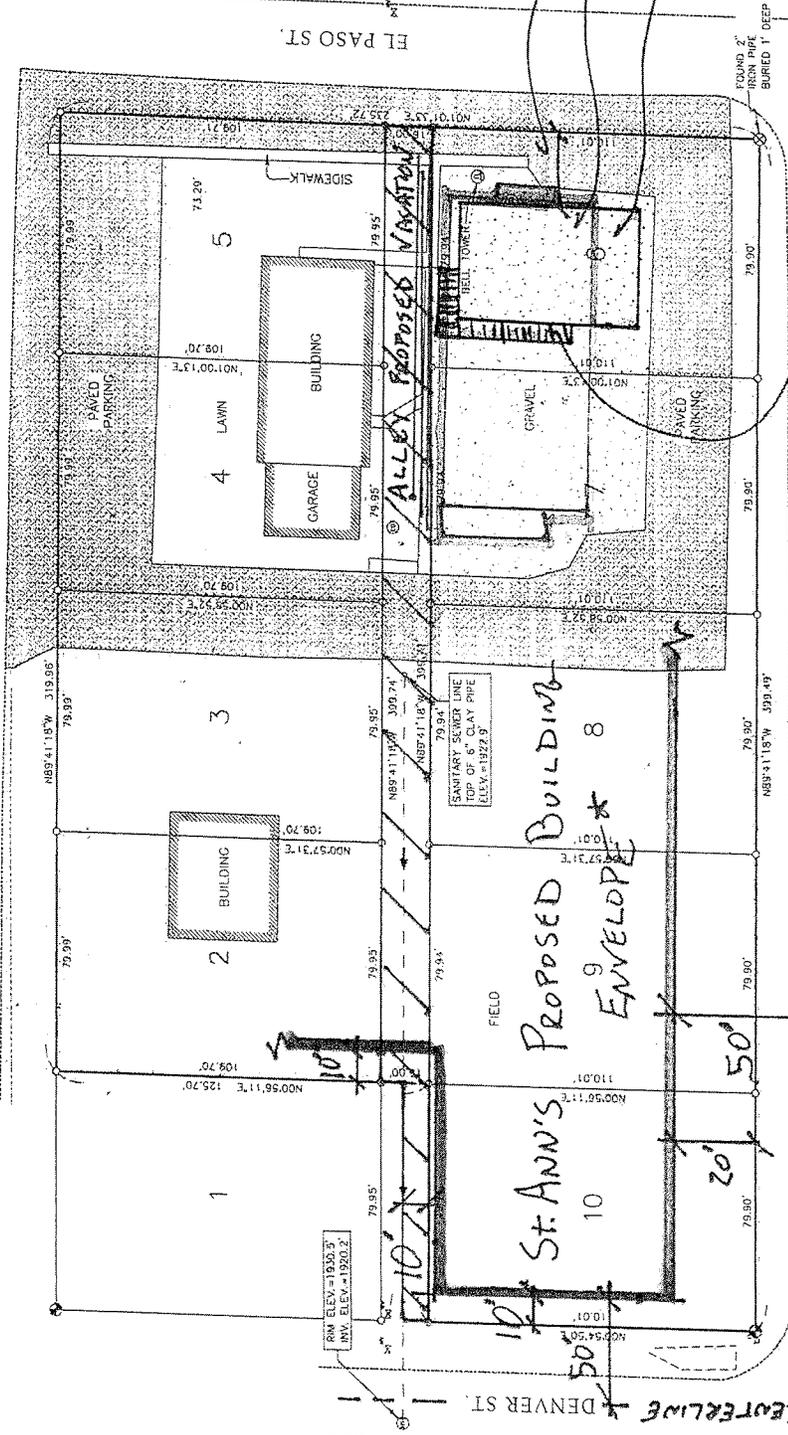
FOUND 3" IRON PIPE
 BURIED 18" DEEP

R/W ELEV = 1927.2
 INV. ELEV = 1919.3

FOUND 3" IRON PIPE

LINCOLN ST.

EL PASO ST.



LEGEND



SECTIONAL CORNER, AS NOTED.

SET 5/8" X 24" REBAR AND CAP, PLS 13548

FOUND 5/8" REBAR AND CAP, PLS 6050

FOUND IRON PIPE, AS NOTED.

CALCULATED POINT, NOTHING SET

SEWER MANHOLE

WATER VALVE

FIRE HYDRANT

SANITARY SEWER CLEANOUT

DITCH TOP

DITCH BOTTOM

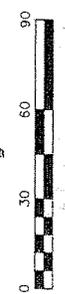
FLOW LINE

EDGE OF PAVEMENT

SETBACK ≥ 25'

ST. ANN'S FOOTPRINT

TEMPORARY MODULAR WORSHIP HALL PROPOSED



Sup08-17

NOV 03 2017

ADA RAMP
 ALL SETBACKS ≥ SHOWN DIMENSION PER CITY REQ.

METHOD OF SURVEY

THIS SURVEY WAS PERFORMED USING TRIMBLE R10 GNSS RECEIVERS AND THE DATA WAS PROCESSED USING NGS OPUS AND TRIMBLE BUSINESS CENTER. M717/P.

BASIS OF BEARING

BEARINGS REFER TO THE IDAHO COORDINATE SYSTEM OF 1983, WEST ZONE, (1103) - US SURVEY FT. THE PROJECT GPS CONTROL COORDINATES WERE DERIVED FROM NGS OPUS SOLUTIONS USING A REFERENCE FRAME OF NAD83 (2011) (PCOR: 20160808).

NEW BUILDING FOR ST. ANN'S CHURCH

9712 EL PASO STREET BONNERS FERRY, IDAHO

PREPARED BY

MAY 03 2017

CHECKED BY

RICK ELEVATIONS
RICK ELEVATIONS
RICK ELEVATION
9-SHEETS

<p>IES</p> <p>PRIVATE WELL PRIVATE SEPTIC/RAINFIELD PROpane TANK VERIFY VERIFY VERIFY</p>	<p>S/ABBREVIATIONS</p> <p>FINISH ELEVATION CENTER LINE ANGLE TYP. TYPICAL SQ. SQUARE FEET SQ. SQUARE DIA. DIAMETER T.O. TOP OF UNO. UNLESS NOTED OTHERWISE O.C. ON CENTER N/C. NOT IN CONTRACT</p>
<p>LEGAL DESCRIPTION</p> <p>PARCEL NO.</p>	

AL NOTES

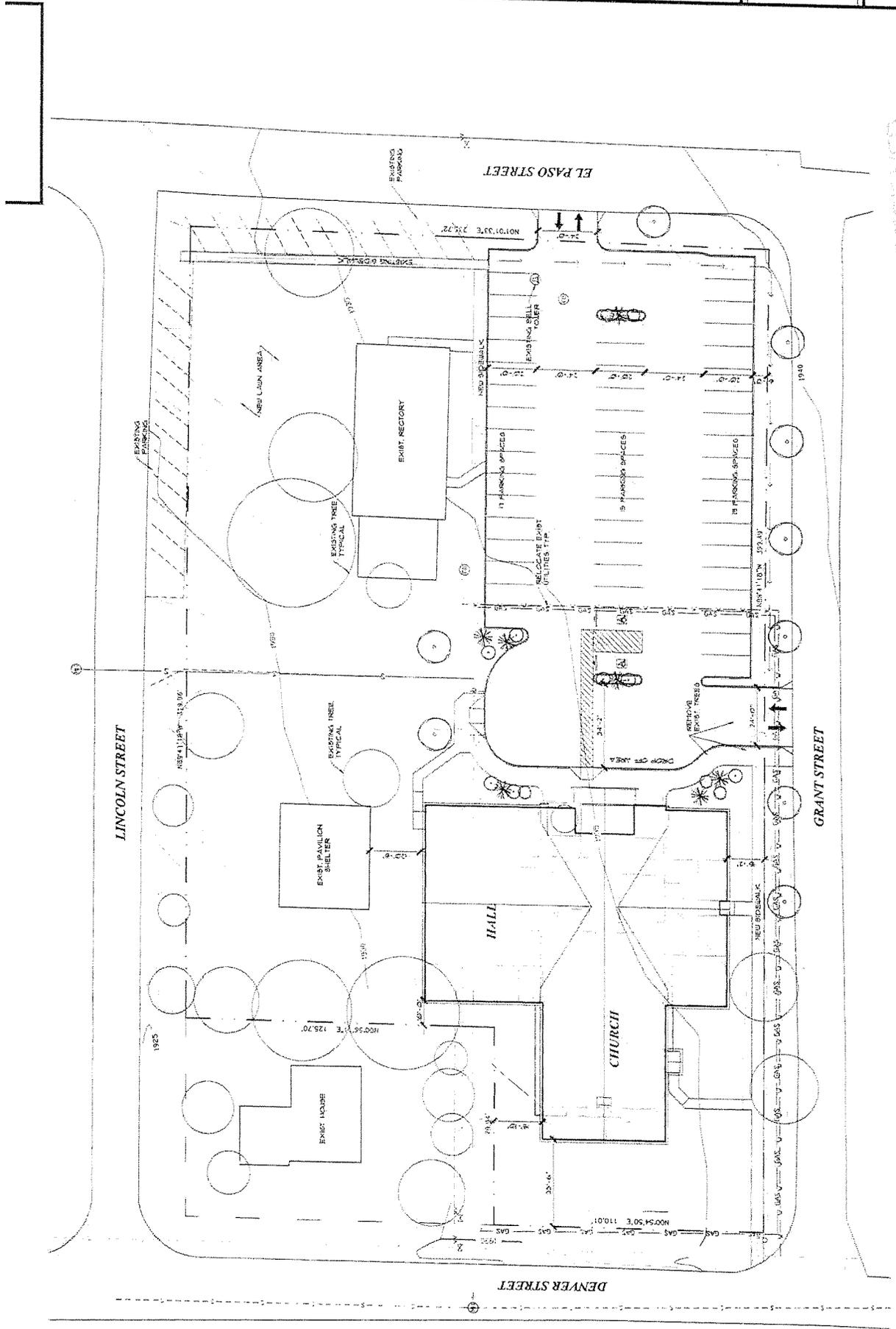
THE DRAWINGS ARE MORE RESTRICTIVE, EXISTING CONDITIONS AT THE JOB SITE SHALL GOVERN OVER LARGEST SCALE DRAWINGS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS ARE TO FACE OF CONCRETE AND FACE OF STUDS AT EXTERIOR WALLS AND TO FACE OF STUDS AT INTERIOR WALLS UNLESS INDICATED OTHERWISE. DO NOT SCALE DRAWINGS. ALL EXTERIOR WOOD FRAMED WALLS SHALL BE 2x6 @ 16" O.C. UNLESS OTHERWISE REQUIRED.

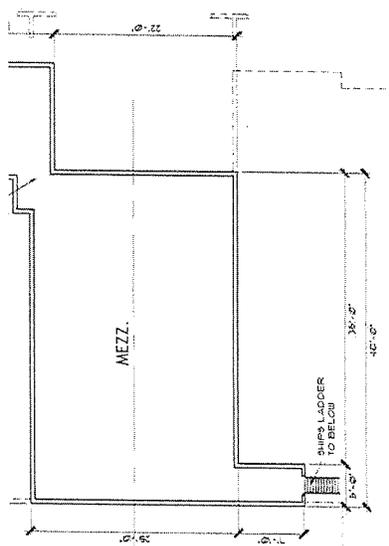
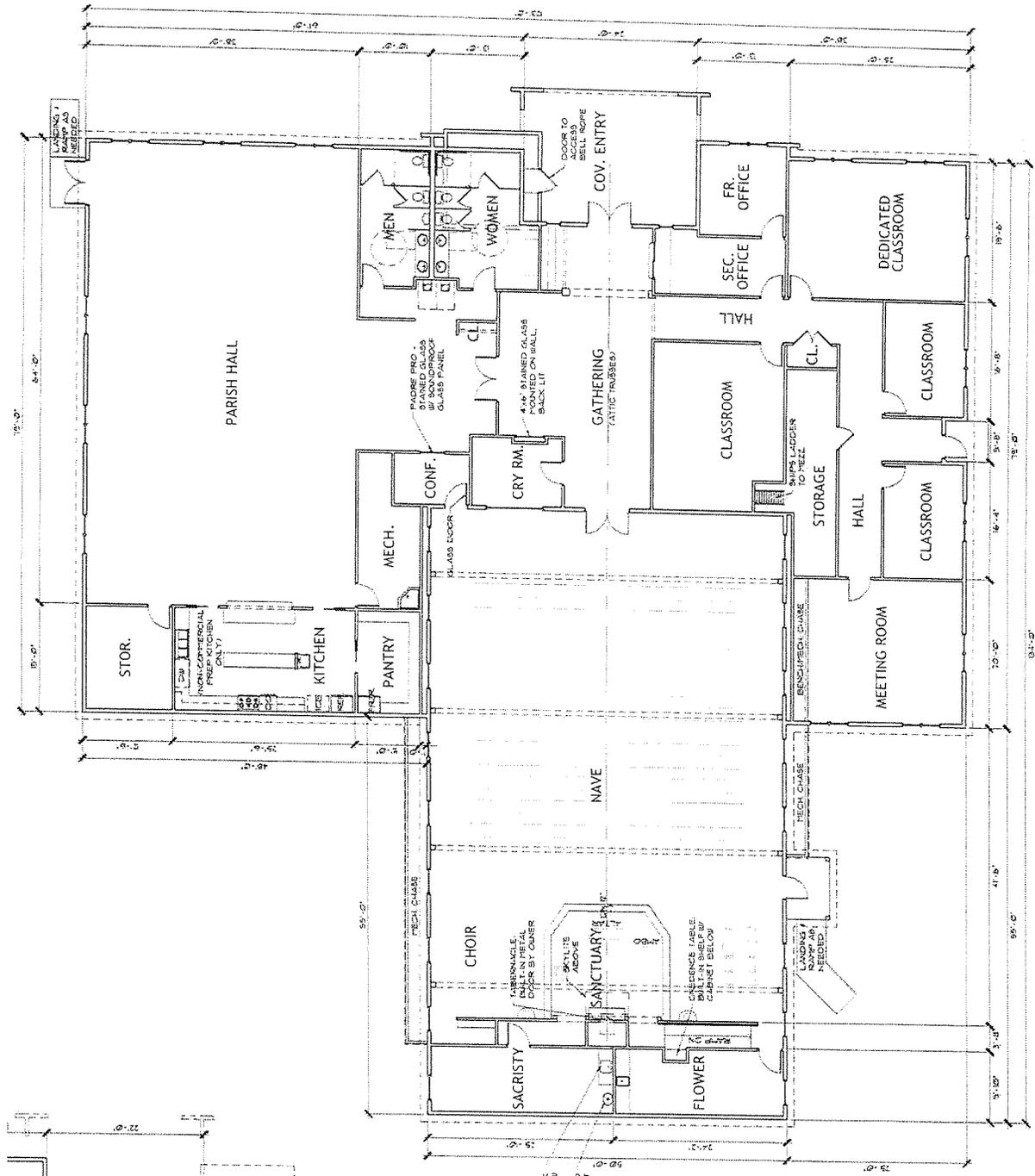
THE CONTRACTOR IS REQUIRED TO VERIFY ALL EXISTING CONDITIONS AT THE JOB SITE. CONTRACTOR SHALL CONTACT THE ARCHITECT FOR VERIFICATION.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ARE TO FACE OF CONCRETE AND FACE OF STUDS AT EXTERIOR WALLS AND TO FACE OF STUDS AT INTERIOR WALLS UNLESS INDICATED OTHERWISE. DO NOT SCALE DRAWINGS. ALL EXTERIOR WOOD FRAMED WALLS SHALL BE 2x6 @ 16" O.C. UNLESS OTHERWISE REQUIRED.

CONTRACTOR SHALL VERIFY LOCATION OF ALL ERS AND UTILITIES UNDERGROUND WITH ERS AND UTILITIES COMPANIES.

CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND ERS AND UTILITIES COMPANIES SHALL BE PROVIDED WITH ALL NECESSARY INFORMATION. CONTRACTOR SHALL VERIFY ALL DIMENSIONS ARE TO FACE OF CONCRETE AND FACE OF STUDS AT EXTERIOR WALLS AND TO FACE OF STUDS AT INTERIOR WALLS UNLESS INDICATED OTHERWISE. DO NOT SCALE DRAWINGS. ALL EXTERIOR WOOD FRAMED WALLS SHALL BE 2x6 @ 16" O.C. UNLESS OTHERWISE REQUIRED.



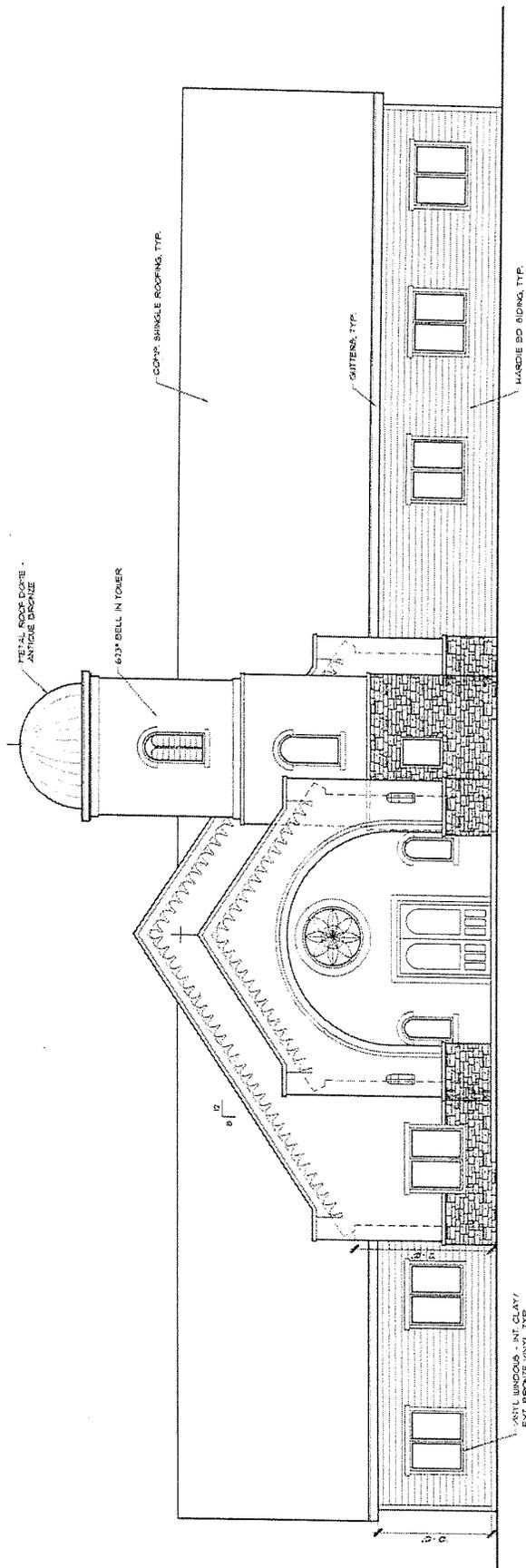


MEZZ. PLAN
SCALE: 1/8" = 1'-0"

1231 SF

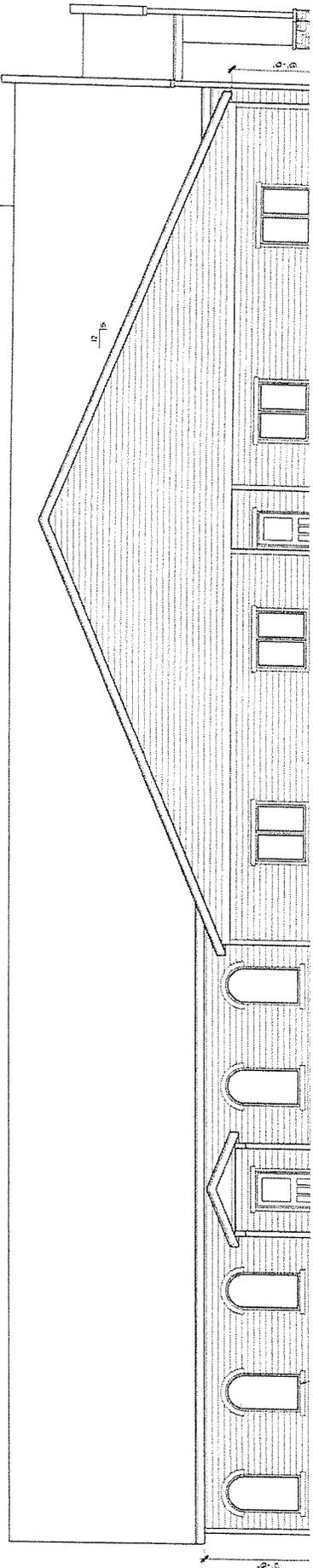
7

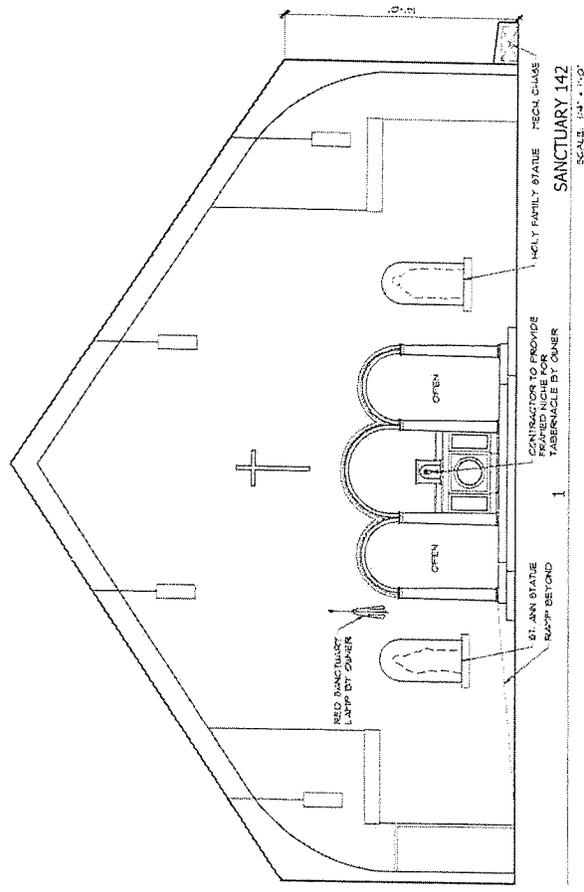
A2.1



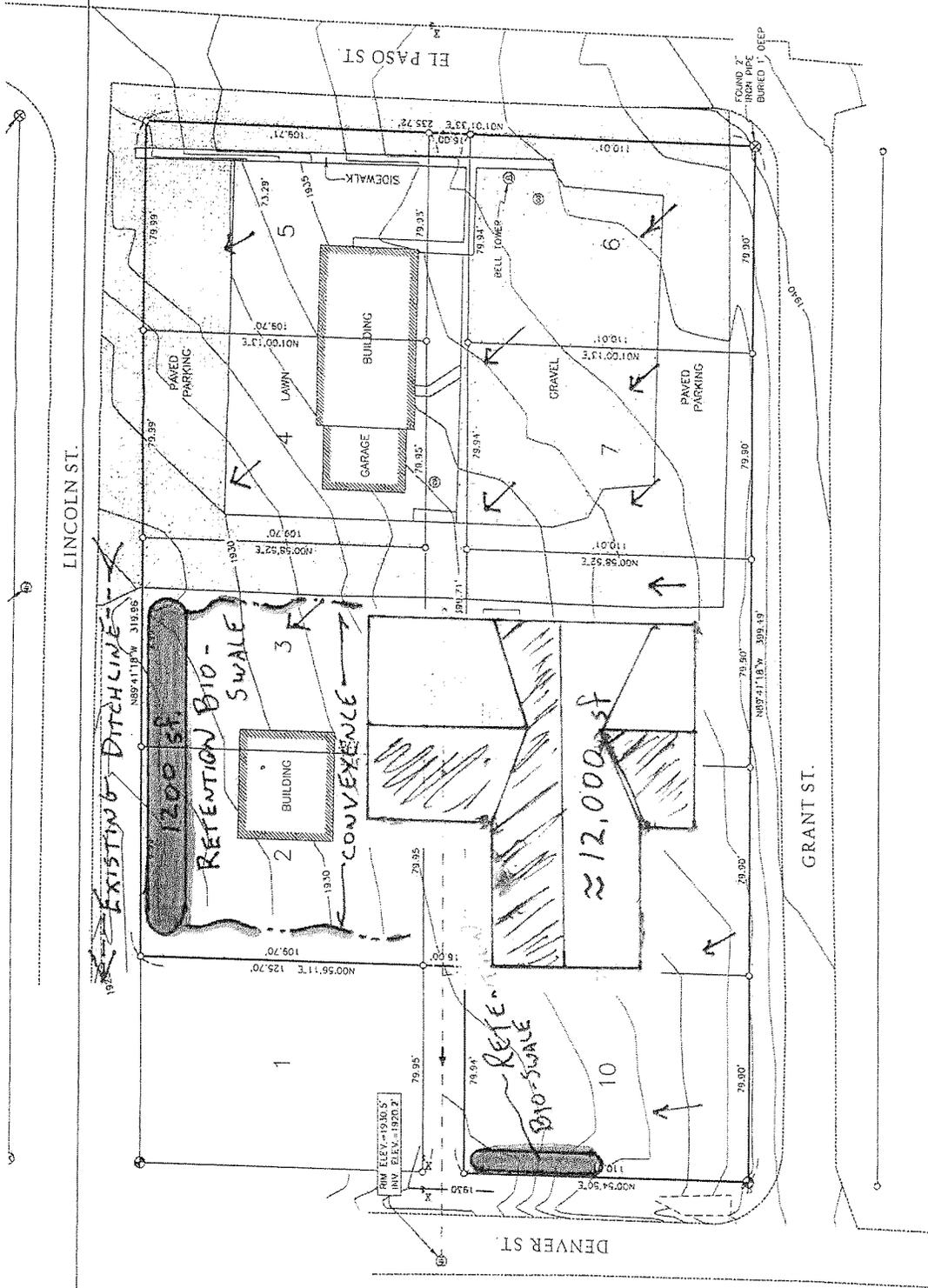
EAST ELEVATION

SCALE: 3/16" = 1'-0"





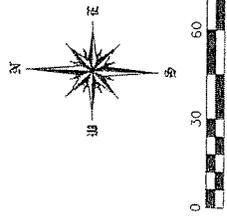
TOWNSHIP 62 NORTH, RANGE 14 EAST, BOISE MERIDIAN,
BOUNDARY COUNTY, IDAHO



LEGEND

- SECTIONAL CORNER, AS NOTED.
- SET 5/8" X 24" REBAR AND CAP, PLS 13548
- FOUND 3/8" REBAR AND CAP, PLS 6050
- FOUND IRON PIPE, AS NOTED.
- CALCULATED POINT, NOTHING SET
- SEWER MANHOLE
- WATER VALVE
- FIRE HYDRANT
- SANITARY SEWER CLEANOUT
- DITCH TOP
- DITCH BOTTOM
- FLOW LINE
- EDGE OF PAVEMENT

DRAINAGE NOTES
EXISTING IMPERVIOUS ≈ 37'
PROPOSED ADDITIONAL ≈



BASIS OF BEARING

BEARINGS REFER TO THE IDAHO COORDINATE SYSTEM OF 1983. WEST POINT BEARINGS ARE CALCULATED FROM THE NORTH POINT OF THE CORNER. DISTANCES SHOWN HAVE BEEN CONVERTED FROM GRID TO GROUND USING THE NATIONAL TYPICAL CORNER CAP CONSTRUCTION. THE ANGLE AT THE CORNER IS AN ANGULAR ROTATION OF -0.2610' AT THE WEST X CORNER.

METHOD OF SURVEY

THIS SURVEY WAS PERFORMED USING TRIMBLE RTO GNSS RECEIVERS AND THE DATA WAS PROCESSED USING NGS OPUS AND TRIMBLE BUSINESS CENTER.

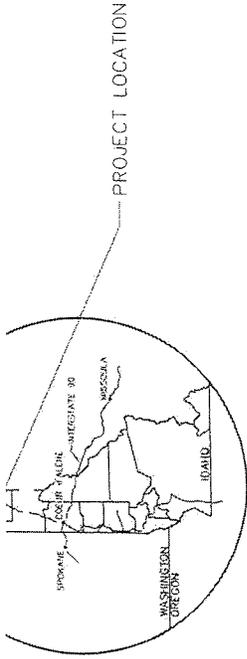
NOTE:

THIS SURVEY MAKES NO REPRESENTATION OF OWNERSHIP, NOR ATTEMPTS TO SHOW ALL EASEMENTS OF RECORD OR IN VIEW, NOR PHYSICAL FEATURES AND IMPROVEMENTS OF THE PROPERTY.

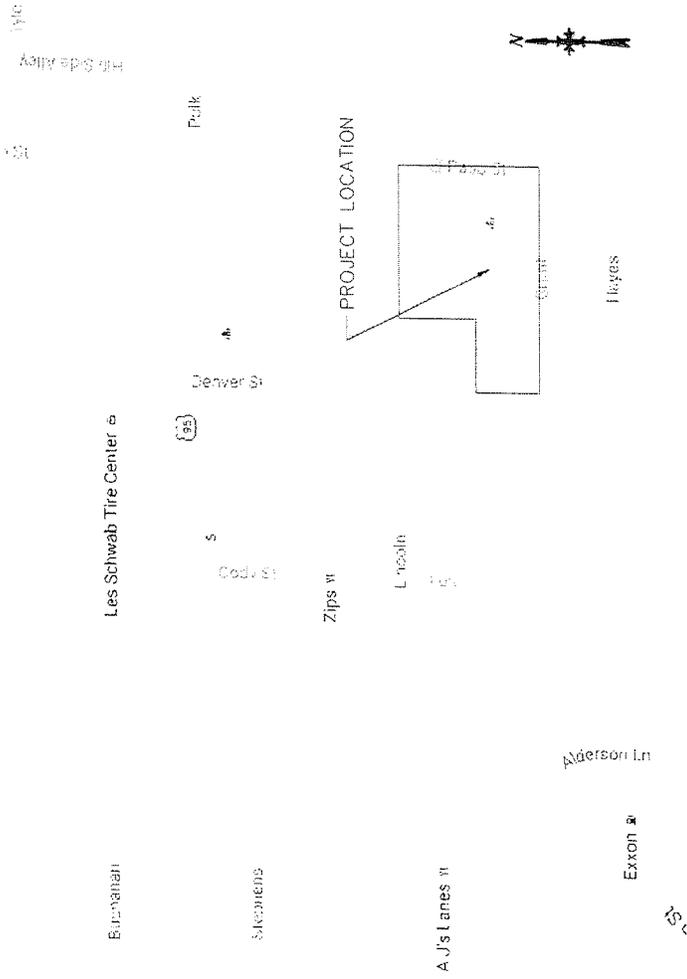


ALLAN J. HARRIS
REGISTERED PROFESSIONAL LAND SURVEYOR

TOPOGRAPHIC SITE PLAN



BONNERS FERRY, IDAHO FEBRUARY, 2017



DRAFT

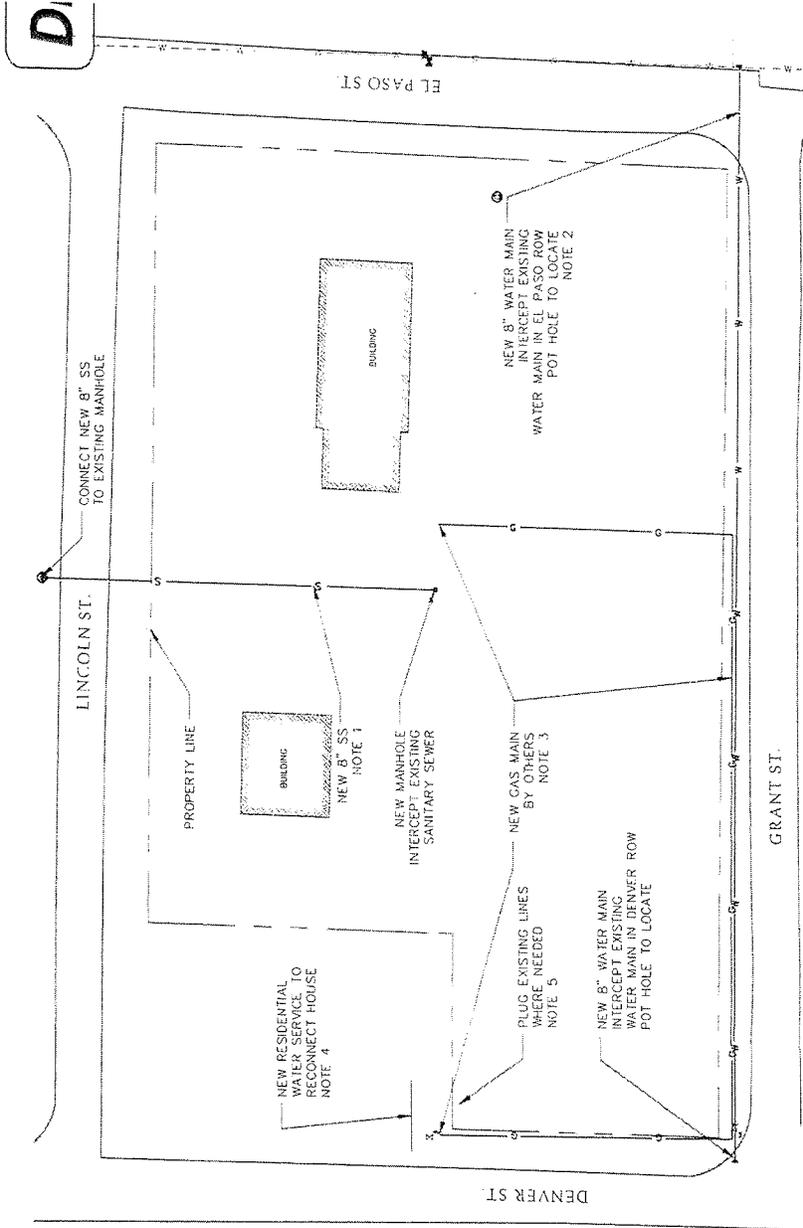
NOTE: THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES IS SHOWN

ENGINEER
JUB
 Engineers Surveyors Planners
JUB ENGINEERS, INC.

11/17/16
 11/17/16

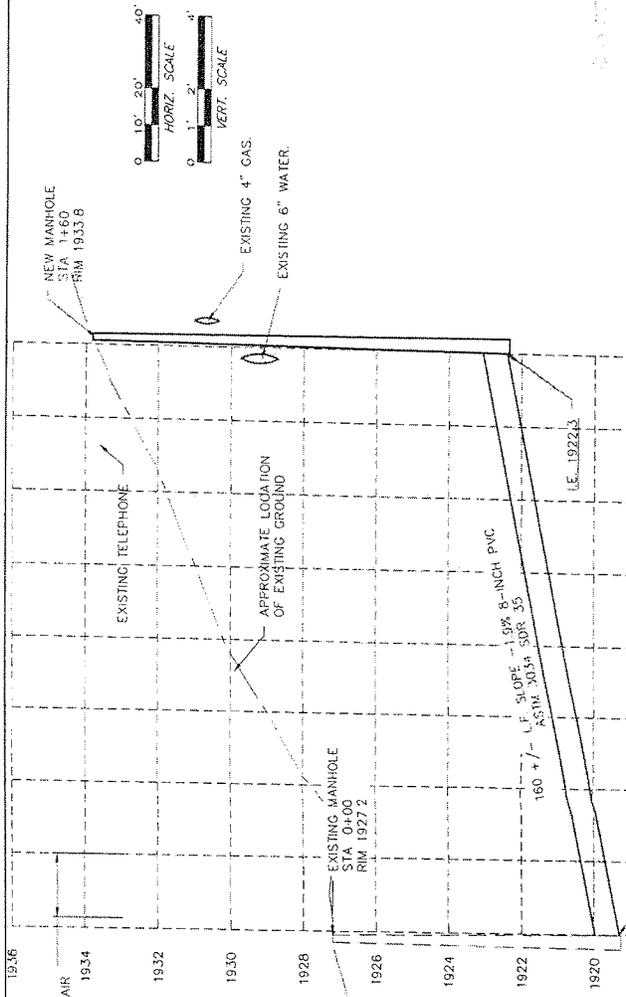
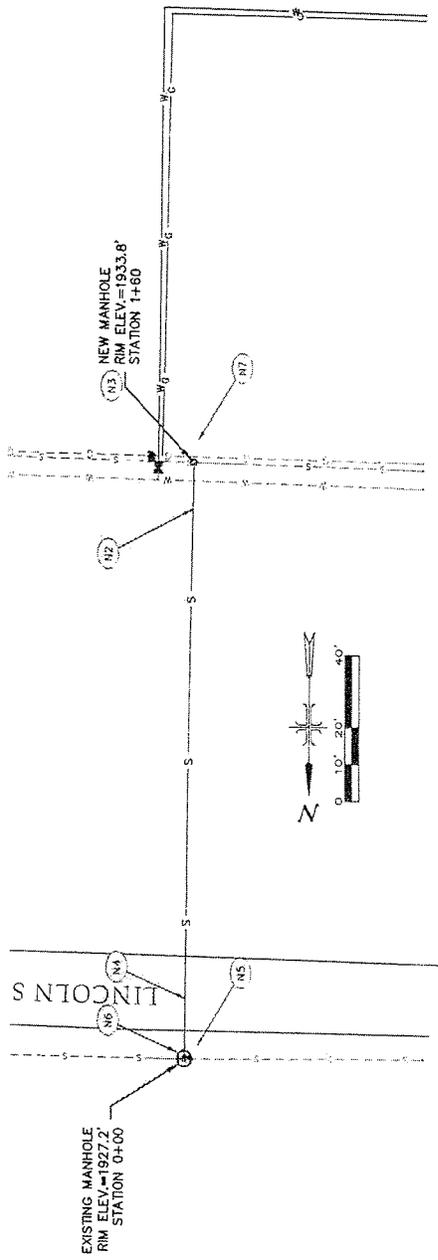
12. TO THE SITE SHALL BE PROTECTED UNLESS OTHERWISE NOTED. DAMAGE BY CONTRACTOR'S OPERATION SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
13. ALL BURIED PIPE AND FITTINGS SHALL HAVE RESTRAINED JOINTS.
14. OWNER RESERVED THE RIGHT TO SALVAGE ITEMS NOTED FOR DEMOLITION.
15. WORK LIMITS SHOW THE MAXIMUM ALLOWABLE SURFACE REPAIR THAT SHALL BE PAID BY OWNER. ALL ITEMS BEYOND LIMITS SHALL BE RETAINED AND PROTECTED UNLESS OTHERWISE NOTED. REPAIR AND REPLACEMENT OF ITEMS BEYOND WORK LIMITS DUE TO CONTRACTOR'S ACTIVITIES SHALL BE INCIDENTAL TO THE BID.
16. GROUNDWATER IS EXPECTED DURING CONSTRUCTION ACTIVITIES. WORK WILL BE CONDUCTED AT TIMES TO MINIMIZE IMPACTS ON EXCAVATION ACTIVITIES.

1. TRAFFIC CONTROL AND BARRICADES AS SHOWN BY CITY.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL IN ACCORDANCE WITH THE MUTCD, 8TH EDITION, AT LEAST 48 HOURS PRIOR TO THE START OF ANY TRAFFIC CONTROL PLANS. TRAFFIC CONTROL PLANS SHALL BE PREPARED AND SUBMITTED TO THE DISTRICT ENGINEER FOR APPROVAL. NO WORK SHALL BE PERMITTED UNTIL A PERMIT IS ISSUED AND ALL TRAFFIC CONTROL IS IN PLACE.
3. CONTRACTOR SHALL MAINTAIN THE STREETS, SIDEWALKS, AND ALL OTHER PUBLIC RIGHTS-OF-WAY IN A SAFE AND USABLE CONDITION. ALL SOIL, DEBRIS OR CONSTRUCTION DEBRIS SHALL BE PROMPTLY REMOVED FROM THE PUBLICLY OWNED PROPERTY DURING CONSTRUCTION, AND UPON COMPLETION OF THE PROJECT, ALL ADJACENT PROPERTY PRIVATE OR PUBLIC, SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.



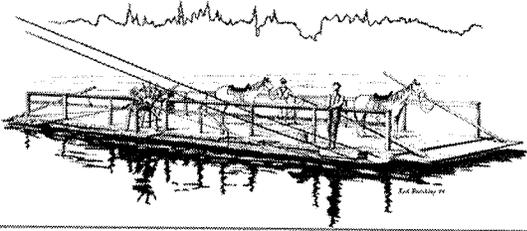
- PROJECT SUMMARY NOTES:
1. INTERCEPT EXISTING 8"SS IN ALLEY AND ROUTE NORTH TO EXISTING MANHOLE ON THE NORTH SIDE OF LINCOLN ST.
 2. INTERCEPT EXISTING 6" WATER MAIN IN EL PASO ST. AND ROUTE AN 8" WATER MAIN WEST TO EXISTING 6" WATER MAIN IN DENVER ST. R.O.W.
 3. COORDINATE NEW GAS MAIN CONSTRUCTION WITH UTILITY COMPANY. GAS MAIN TO BE LOCATED IN SAME DITCH AS WATER LINE, WHERE FEASIBLE. UPON UTILITY APPROVAL, GAS MAIN CONSTRUCTION BY OTHERS.
 4. NEW WATER SERVICE TO RECONNECT RESIDENTIAL WATER SERVICE.
 5. PLUG EXISTING LINE WHERE APPROPRIATE.

NEW MANHOLE.
 IMPACTS TO EXISTING LANDSCAPING, RESTORE TO
 BETTER CONDITION OR BETTER.
 BRILL EXISTING MANHOLE FOR PROPOSED REALIGNMENT.
 MANHOLE CONNECTION ADAPTER KOR-N-SEAL OR
 EQUIVALENT. REMOVE EXISTING BOTTOM GROUT.
 CUT CHANNEL AS REQUIRED TO REDIRECT FLOW TO NEW
 TO PROVIDE SMOOTH FLOW PATH.
 VERIFY LOCATION OF UTILITIES. COORDINATE WITH UTILITY
 TO RELOCATE UTILITIES AS REQUIRED FOR CONSTRUCTION.
 END



OF ALL EXISTING UNDERGROUND UTILITIES IS SHOWN
 DATE. WAY ONLY. THE CONTRACTOR SHALL DETERMINE
 LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING
 WORK. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL
 DAMAGE TO EXISTING UTILITIES OR TO THE PUBLIC WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY
 PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

48 HOURS
 BEFORE YOU DIG
 811



CITY OF BONNERS FERRY

7232 Main Street
P.O. Box 149
Bonners Ferry, Idaho 83805
Phone: 208-267-3105 Fax: 208-267-4375

April 6, 2017

TO:

- | | |
|--|--|
| <input type="checkbox"/> Panhandle Health District | <input type="checkbox"/> Idaho Dept. of Water Resources |
| <input checked="" type="checkbox"/> City of Bonners Ferry Street Dept. | <input checked="" type="checkbox"/> City of Bonners Ferry Utility (Electric) |
| <input checked="" type="checkbox"/> City of Bonners Ferry Fire Dept. | <input checked="" type="checkbox"/> City of Bonners Ferry Police Dept. |
| <input checked="" type="checkbox"/> City of BF Utility (Sewer/Water) | <input checked="" type="checkbox"/> Traffic Safety Committee |
| <input type="checkbox"/> Boundary County School District | <input type="checkbox"/> Fish and Wildlife Service |
| <input type="checkbox"/> Avista Power Company | <input type="checkbox"/> Forest Service |
| <input type="checkbox"/> Frontier | <input type="checkbox"/> State Fire Prevention Marshall (Dist. 1) |
| <input type="checkbox"/> Idaho Dept. of Fish and Game | <input type="checkbox"/> Other _____ |
| <input type="checkbox"/> Idaho Dept. of Env. Quality | |
| <input type="checkbox"/> Idaho Dept. of Transportation | |
| <input type="checkbox"/> Idaho Dept. of Lands | |
| <input type="checkbox"/> Idaho Dept. of Lands, Nav. Waters | |

FROM: Lisa M. Ailport, AICP, City Planner

SUBJECT: Church in Residential A Zone; SUP08-17, Bonners Ferry Catholic Church

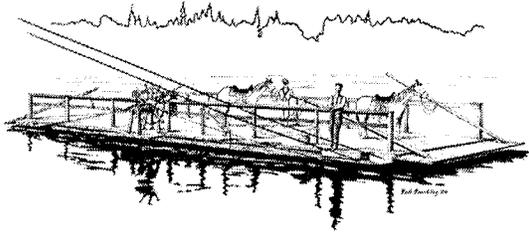
The enclosed application has been submitted to the City of Bonners Ferry for processing. The Applicant is requesting approval of a special use permit to allow a Church in the Residential A Zone. Churches are conditionally permitted in Residential zones. The application seeks to authorize a new location of the facility after it was unintentionally removed by arson.

A meeting has been scheduled for **April 13, 2017 at City Hall at 11:00 am, Traffic Safety will be at 12:00pm** in order to receive comments from City department heads or agencies which will be included with the file record. All Departments and/or agencies are encouraged to attend. However, if you are unable to attend please submit your comments to the City **by no later than April 17, 2017**. Comments may be received via mail or by delivery to City Hall. If no response is provided, staff will conclude your agency has no objections to the project or recommended conditions.

If you have no comment or response, you may indicate below and return this form to the City as soon as possible to speed processing time. Thank you for your assistance.

NO COMMENT _____
Agency Name, Initials of Agency Representative Date

c: Applicant (w/o enclosures)
Project Representative (w/o enclosures).



MEMO

CITY OF BONNERS FERRY
CITY ENGINEER

Date: April 25, 2017
To: SUP08-17 File Record
From: Mike Klaus, City Administrator/Engineer
Subject: **Bonnors Ferry Catholic Church - Engineers Comments**

I have reviewed the special use permit (SUP) application and have the following comments with respect to utilities, access, and parking:

1. The applicant has proposed to remove the utilities in the from the alley corridor that was approved for vacation. It appears that the proposed utility relocations will provide the City with the same level of utility service as currently provided.
2. Access to the new church is shown as entering from El Paso Street and also from Grant Street. Previous accesses to the church included Lincoln Street and El Paso Street. In my opinion, the new accesses will not generate any further congestion than the original access points.
3. As discussed in the Staff Report, the City's current parking standards require a total of 75 off-street parking spaces, based on the 300 seat occupancy. The current proposal shows a total of 51 off-street spaces and 21 on-street spaces. While the parking proposed with the application exceeds the number previously provided, the proposal does not meet the City's Parking Ordinance Standard.

If the City Council opts to approve SUP08-17, I recommend that Council condition the approval to require the applicant to provide the City with a parking plan that meets the requirements of the parking ordinance, and is determined to be acceptable to the City Engineer.

Thank you,

Mike

The Traffic Safety Committee meeting convened at 12:10 p.m. on April 13, 2017 at City Hall. Present for the meeting were Richard Hollenbeck, Howard Kent, Don Lindsay, John Marquette, Silas Thompson, Police Chief Vic Watson, City Administrator Mike Klaus, Planner Lisa Ailport, Street Department Supervisor John Youngwirth, and Clerk Kris Larson.

Vic said the City Code says we need to appoint a chairman to the Traffic Safety Committee each year. Lisa went over the duties of a chairperson. She said the chairperson calls the meeting to order and calls for motions. John Marquette moved to appoint Vic Watson as chairperson. Richard Hollenbeck seconded the motion. The motion passed, all in favor.

John Marquette moved to approve the March 22, 2017 meeting minutes. Howard Kent seconded the motion. The motion passed, all in favor.

Lisa Ailport said the reason the Catholic Church's request for a special use permit in a residential A zone came before Traffic Safety Committee is that our City Code says construction projects come before Traffic Safety Committee for review. Zoning in the area is a residential A zone and a 12,000 square foot building is proposed to be built to replace the Catholic Church that was burned. The entire structure will be on one level rather than have a basement like the old Church. Parking spaces proposed are 51 in the parking lot and 24 are planned to be on the street. The City parking ordinance prohibits backing on the streets. Richard Hollenbeck moved that the special use permit file go to City Council for their consideration.

Vic explained that more parking will be off the street with the new building than there was with the old building. Mike Klaus said the ordinance for parking needs to be considered in this request. Mr. Hollenbeck suggested that the parking lot needs to be designed so that the vehicles are pulling into the parking spaces and backing into the parking lot when they leave. Lisa said the Church is proposing on street parking because they have that now. Richard suggested parking parallel to the street. Lisa said the ordinance says the applicant shall provide the minimum off street parking. She said the committee needs to consider if there are traffic safety issues, concerns, or congestion. John Youngwirth said the parking now on Lincoln and El Paso is on city street right of way. He said basically all the Churches have on street parking now. Lisa said they need 75 spaces. Vic said the angled parking they have now is near the Rectory. Lisa said there are no grandfathering rights as far as parking is concerned. John Marquette asked how many spaces are currently backing into the street. Lisa said 24. John Marquette asked the number of spaces being proposed that would be backing into the right of way. Lisa said there are 24 and the new plan has 17 on street parking spaces, 32 spaces they have now will be consolidated into the new parking configuration of 51. John Marquette said if there are less nonconforming spaces now than there were before and less people backing out into the right of way, it should be looked at favorably. Lisa said there are no grandfathering rights for parking lots, they are for the buildings. A special use permit cannot relax the standards that are in place according to Mike.

Lisa said the uses need to be looked at for conformance to our rules now. Mike said what we are looking at does not conform to our current parking ordinance. John Youngwirth said the ordinance does protect the City. Richard suggested parallel parking rather than diagonal parking.

Lisa said on street parking cannot be part of the application. Howard suggested having barriers around the entire parking lot to prevent backing onto the streets. Richard withdrew his motion. Silas suggested using part of the lawn for pulling through on the diagonal spaces so the vehicles pull forward and drive out rather than backing into the street. The group discussed different parking scenarios. Howard suggested adding another Commandment that "Thou shall not back onto the street".

Lisa read the parking standard 11-13-3c from City Code. John Marquette asked if there have been accidents when folks backed onto the street. He argued that this committee should be looking at safety. Vic said to his knowledge there have not been any calls for crashes at this location.

Vic said we acknowledge that the parking plans are not within our ordinance but we do not particularly see a safety issue with the parking plan. Lisa said the applications need to be consistent with the law, in her opinion. John Youngwirth said we do need to consider the areas being designed as some places would not be safe.

Howard Kent moved to recommend approving the special use permit application if the applicant can design the parking lot where there is not backing onto the City Street. Richard Hollenbeck seconded the motion. The motion passed, all in favor.

Mayor David Sims joined the meeting at 12:50 p.m.

A map of the Highway 95 project from Alderson Lane to Madison Street was reviewed.

Mayor Sims said he wanted the Traffic Safety Committee to be informed about the Idaho Transportation Department (ITD) project that will be done. The congestion through town on Highway 95 is mostly local traffic. To reduce congestion ITD suggested that the City look at alternate routes for local traffic. We had Mobility West come in and do a review and then Boundary Economic Development Committee (BEDC) had a committee that reviewed the project with ITD. Eventually the project will go from Madison Street to LaBrosse Hill Street. The first portion will be Madison to Alderson, the next section will be from Madison to the Bridge, and the final section will be Alderson to LaBrosse Hill Street.

The project consists of sidewalks on each side of the highway with a five foot grassy area, curb and gutter, and a five foot area near the driving lane. The driving lanes will be 11 feet wide with a 12 foot turning lane. The area at Lincoln and Highway 95 will be only one access, but the Barber Ship will have to be removed.

There will be a crossing between Madison and Monroe with a refuge island with two sets of flashing lights. People will press the button, go to the island, press another button and go the final section. There will not be a turn lane for the alley between Madison and Monroe.

Mayor Sims said the traffic signal at Alderson Lane will go back to normal operation. We have had it on flashing light for about six weeks. There have been complaints received by ITD so that is the reason for ITD's change. Mayor Sims said the stop light was installed in 1996 and since then some of the loops for the signal operation have been damaged. A new light is being

considered but will be quite an expense. If the light goes away we need to consider if we need a crosswalk in that area. Crosswalks near the Liberty Gas Station and another on Denver Street need to be considered also.

Lisa said since the topic of crosswalks need more consideration maybe we can have a meeting with only this item on the agenda to be discussed.

The group discussed the traffic light at Alderson Lane.

The next meeting date will be May 3, 2017 at noon at City Hall.

Meeting adjourned at 1:12 p.m.

DRAFT

City of Bonners Ferry Planning and Zoning,

In response of the Catholic Church constructing a commercial building in the Nixon Subdivision.

I fully understand that this church was previous there and was destroyed by fire. The church wanting to construct a 12,000+ ft building to accommodate 300 people. The structure alone will almost = one half a football field. Do the math 90x 140 or 83 x 150. Then there is parking for 300 people. Average 2 per car = 150 cars, 3 per car = 100 cars. 98% of the people that use this church do not live there so parking is essential there is not enough area to develop that kind of parking. If this goes our property values will drop 10 – 15%. This is a large commercial building it should not be built in this area. The church should look at other options. If the church builds in the present location it should only build to what it once was, not a towering giant that disrupts the people that live there. Speaking of disruptions the church constructed a bell that they ring for a hour at different intervals prior to all services. This bell is loud enough to cause hearing loss to anyone within 300 feet of it. The people from the church that's around the bell all have hearing protection. If they need hearing protection... What about us people that live there? I have been told by other folks the can hear the bell as far away as Paradise Valley. It does not fit in residential area. If this all goes as requested the Nixon subdivision will no longer be a residential –A area. I am looking to the Planning and Zoning to do the right thing.

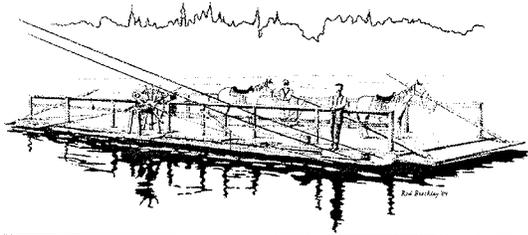
BOB NORTON

6522 GRANT STREET

RECEIVED

MAY 1 2 2017

CITY OF BONNERS FERRY



MEMO

OFFICE OF THE CITY ATTORNEY

Date: May 22, 2017
To: Mayor and City Council
From: Andrakay Fluid, City Attorney
RE: RV Parking/Storage/Habitation

The topic of RVs has been discussed by City staff in some detail lately. This conversation has included many different aspects including parking on City streets and right of ways, storage on private property, and the use of RVs as a “second bedroom” or a residence.

Each of these aspects comes with its own concerns from staff. Storage of RVs/campers on City right of way creates maintenance problems for the Street department in the winter and summer alike. Additionally, it can create problems depending on the width of the street, the incline, the parking availability, etc. Storage of an RV on private property is not as much of a problem, until storage becomes occupancy, especially permanent occupancy. Not only is the use of an RV as an accessory dwelling contrary to current zoning ordinances, but it also calls in to question health and safety issues such as, wastewater disposal, electrical use and safety problems, density problems, etc. Several such issues have been noted by planning and zoning and the street department wherein it appears that RVs are being utilized as residences within the City.

Staff would like to explore the possibility of creating ordinances that deal with the different facets of RV parking, storage, and habitation, but before moving forward we are seeking Council input and direction. I have looked into the issue a little and found what I believe to be some helpful starting points if the Council would like to move forward with ordinances regulating this. I have attached some materials pulled from the City of Richland, WA for your review.

Should the Council opt to direct staff to proceed with drafting such ordinances, there is also the consideration of where within the City code to place such regulations. Some cities utilize zoning ordinances as the mechanism for this, others public health and safety. As you will see in the attached materials, Richland does both by putting habitation standards within zoning and parking within traffic. The location of the ordinance is important in terms of enforcement and remedies available to the City to correct problems, i.e. police enforcement via citations/impoundment/etc. versus zoning violations.



COMMUNITY DEVELOPMENT DEPARTMENT

840 Northgate Drive, Richland, WA 99352

Phone: 509-942-7794 Fax: 509-942-7764

RV, TRAILER, OR CAMPER USE WITHIN THE CITY

RV'S STORED ON A CITY STREET TEMPORARILY

It is illegal to store (park) an RV or boat of any kind on a City street for more than five (5) consecutive days. Realizing that the normal use of an RV, trailer, or boat, etc., requires some use of the City street to maneuver and temporarily park it, the City placed the limit of five (5) consecutive days as a reasonable use of the City street. The City does not want RV's, trailers, or boats, etc., permanently stored on City streets. The City may impound the RV or boat at the owner's expense for failure to comply with this time limit. The City also realized that there may be extenuating circumstances where more than five (5) consecutive days is needed and made provisions for a temporary parking permit which can be obtained at the City Clerk's Office located at 975 George Washington Way, Richland, WA 99352. Please call (509) 942-7388 for more information about the temporary parking permit. (Please see RMC 11.33 for additional information on large vehicles like semi-trucks and vans, etc.)

RV'S PARKED ENTIRELY ON YOUR OWN PROPERTY, STORAGE ONLY

As long as the registration and license are kept current and the recreational vehicle is entirely on your own property, you can park your RV, trailer, camper, or boat, etc., on your property for an indefinite period of time, but you may not live-in or occupy it except as noted next below. If parked in a driveway (or even in your yard somewhere) the RV cannot overhang onto the City sidewalk and must be 10 feet away from the roadway (RMC 11.33.020). When parked or stored on private property as described above, RV's may be hooked-up to electricity as recommended by the RV manufacturer, but may not be occupied, lived-in, or used except as noted next below.

RV'S PARKED ON YOUR OWN PROPERTY & BEING TEMPORARILY OCCUPIED

Realizing that many residents have family or friends who come to visit and want to park and temporarily occupy a recreational vehicle, the City zoning laws made a provision for up to fourteen (14) days of continuously occupying, living-in, or using a recreational vehicle. This provision includes both residential and commercial properties *BUT ONLY* if the property is already developed (i.e., you cannot park an RV on an empty lot even with the owner's permission). No one can exceed a total of twenty-eight (28) days of temporary occupancy of an RV on private property in any calendar year. No permit is required to temporarily occupy an RV on your own private property, but the City will enforce the ordinance, including legal prosecution, citations, civil and criminal penalties, and assessment of fines up to \$5000/day against the property owner for exceeding the 14-day limit (or the 28-day total limit per year). If parked in a driveway, the RV cannot overhang onto the City sidewalk and must be at least 10 feet away from the roadway. RV's may be hooked-up to electricity as recommended by the RV manufacturer, and they may be hooked-up to a previously permitted and inspected sewage disposal waste dump (allowed to hook-up to City sewer in most areas of town; plumbing permit required). Please call (509) 942-7794 if you have questions about RV's on private property.

To report a suspected violation of any of the above ordinances, please call the following numbers:

RV parked on private property (driveway or other) and being lived-in: (509) 942-7794

RV stored on City street for more than 5 consecutive days: (509) 942-7739

RV unlicensed, in disrepair, or "junked" anywhere in City: (509) 942-7739

FINAL NOTE: A building permit is required to install a "portable" carport structure anywhere, including temporarily over your RV. Please call the permit office at (509) 942-7794 for information.

CITY OF RICHLAND, WASHINGTON

Chapter 11.33

STORAGE AND PARKING OF BOATS, CAMPER (PICKUP), LARGE VEHICLES, MOTOR HOMES, RECREATIONAL VEHICLES, SNOWMOBILES, UTILITY TRAILERS OR STORAGE CONTAINERS

Sections:

11.33.010 Definitions.

11.33.020 Storage.

11.33.025 Storage containers.

11.33.030 Parking.

11.33.040 Violations – Penalties.

11.33.050 Permit required.

11.33.060 Severability.

11.33.010 Definitions.  SHARE

“Alley” shall mean a public highway not designed for general travel and used primarily as a means of access to the rear of residences and business establishments.

“Boat” shall mean any type of watercraft or vessel used primarily for transportation on the water. The term “boat” shall include personal watercraft that uses a motor-powered jet pump as its primary source of motor power designed to be operated by a person sitting, standing or kneeling on the watercraft.

“Camper (pickup)” shall mean a structure designed to be mounted on a pickup or truck chassis and with sufficient equipment to render it suitable for use as a temporary dwelling for recreational use, camping or vacation use.

“Large vehicle” shall mean any vehicle that exceeds 12,000 pounds gross weight.

“Motor home” shall mean a motor vehicle or device primarily designed as a temporary living quarters for recreation, camping or travel use.

“Municipal parking lot” shall mean a parking lot owned by the city and posted with signage designating the lot as a city-owned parking lot.

“Recreational vehicle” shall mean any camp trailer, travel trailer or fifth wheel designed to provide temporary living quarters for recreational camping or travel use, constructed with integral wheels to make it mobile and/or towable by motor vehicle.

“Roadway” shall mean the portion of a highway improved, designed or ordinarily used for vehicular travel, exclusive of the sidewalk or shoulder even though such sidewalk or shoulder is used by persons riding bicycles.

“Snowmobile” shall mean a vehicle with a continuous tread and runner type steering device used primarily for transportation on the snow.

“Storage container” shall mean any large metal portable cargo container, such as a conex box, used to ship, store, or dispose of items of personal property. Refuse containers made available under RMC Title 15 are not included in the definition of “storage container.”

“Stored” or “storage” shall mean parking or placing of boats, campers (pickup), large vehicles, motor homes, recreational vehicles, snowmobiles or utility trailers for more than five consecutive days; provided, however, that any boat trailer stored at a marina or dock facility for more than 24 hours must be accompanied by a valid moorage permit.

“Utility trailer” shall mean a structure or device with or without its own mode of power, designed and/or used to transport goods, equipment, boats, snowmobiles, vehicles or other devices and materials. [Ord. 12-01; Ord. 27-10 § 1.02; Ord. 10-14 § 1.02].

11.33.020 Storage. SHARE

No boats, campers (pickup), large vehicles, motor homes, recreational vehicles, snowmobiles or utility trailers (hereafter referred to as “vehicle or personal property”) may be stored in a residential district or on public streets, roads, highways or sidewalks. With the exception of boat trailers as provided above, no vehicle or private property shall remain in a public park or municipal parking lot overnight. Storage of any vehicle or personal property is permitted on private property under the condition that such vehicles or personal property are set back 10 feet from any alley or roadway and meet the requirements of Chapter 10.06 RMC regarding inoperable and junk vehicles. [Ord. 12-01; Ord. 27-10 § 1.02; Ord. 10-14 § 1.02].

11.33.025 Storage containers. SHARE

Storage containers shall not be placed on city right-of-way. Any storage container so located shall be promptly removed. Any storage container not promptly removed in compliance with this section may be removed by the city at the owner/renter’s expense. [Ord. 10-14 § 1.02].

11.33.030 Parking. SHARE

No boats, campers (pickup), large vehicles, motor homes, recreational vehicles, snowmobiles or utility trailers may be parked on a roadway or alley within 10 feet of any driveway or within 15 feet of an intersection. [Ord. 12-01; Ord. 27-10 § 1.02; Ord. 10-14 § 1.02].

11.33.040 Violations – Penalties. SHARE

Any person who has violated any provision of RMC 11.33.020 shall have committed a civil violation subject to a civil penalty as set forth in RMC 10.02.050(E).

Any person violating any other provision of this chapter shall be subject to a traffic infraction.

Provided, if the same violator has been found to have committed an infraction and/or violation for the same or similar conduct two separate times, with the violations occurring at the same location and involving the same or similar sections of the Richland Municipal Code or other similar codes, the third or subsequent violation shall constitute a misdemeanor, punishable as provided in RMC 1.30.010 for criminal offenses. [Ord. 12-01; Ord. 27-10 § 1.02; Ord. 20-12 § 2; Ord. 10-14 § 1.02].

11.33.050 Permit required. SHARE

The registered owner of a camper, motor home, or recreational vehicle may obtain a permit from the parks and recreation department at no cost which grants permission to park on the public roadway or alley for 14 days. The registered owner shall be limited to two permits within a 12-month period. Each permit shall identify the vehicle for which it is issued and the time when the permit is valid. Such permit shall be conspicuously displayed in the lower right-hand corner of the windshield or in a window that is easily visible from outside the camper, motor home or recreational vehicle. At the director's discretion, camping permits for locations other than a public roadway or alley may be authorized for large programmed events. [Ord. 12-01; Ord. 27-10 § 1.02; Ord. 10-14 § 1.02].

23.38.120 Use of recreational vehicles. SHARE

No person shall live in or continuously occupy a recreational vehicle, as defined in RMC 23.06.802, whether or not self-contained, within any zoning district within the city, unless said recreational vehicle is located within a legally established recreational vehicle park or recreational vehicle campground; except that the temporary occupancy of a recreational vehicle parked on a residentially zoned property for a period of up to 14 days is permitted. No residential property shall be permitted more than a total of 28 days of temporary occupancy during any calendar year.

On properties zoned for commercial uses, including C-1, C-2, C-3 and B-C zones, recreational vehicles may be temporarily occupied for a period of up to 14 days; provided, that the occupancy of the recreational vehicle is used to support a legally established sale of merchandise, such as fireworks, Christmas trees or similar type of temporary or seasonal sale items.

Commercial property owners may permit the occupancy of recreational vehicles on their properties that are developed with retail uses for a period of up to 14 days.

On properties zoned or used for public parks and golf courses, the temporary occupancy of recreational vehicles is permitted; provided, that the occupancy of the recreational vehicle is used during a sporting tournament or similar event. The duration of the temporary stay is limited to the length of the particular tournament or event.

Recreational vehicles may be stored on residential properties in compliance with RMC 11.33.020 or within commercial storage facilities. Recreational vehicles may also be used as temporary residences; provided, that such use as a temporary residence is permitted in the zoning district; and provided, that such use complies with the provisions of RMC 23.42.110(A). [Ord. 01-10 § 1.03].

CITY OF BONNERS FERRY ELECTRIC FUND

MONTHLY FINANCIAL AND OPERATING REPORT

REPORT FOR THE MONTH OF: *April, 2017*

	ENERGY SALES		DOLLARS		KWH SOLD		# of Cust.	
	This Month	Year to Date	This Month	Year to Date	This Month	Year to Date	This Month	Year to Date
1 Residential & Farm	\$165,233	\$1,267,922			2,352,760	18,351,535	2,014	
2 Residential Seasonal								
3 Commercial - small (50 KVA or less)	\$44,482	\$332,747			653,889	4,948,949	456	
4 Commercial - large (over 50 KVA)	\$87,740	\$621,398			1,438,578	10,106,181	193	
5 Industrial	\$134,192	\$714,964			2,953,159	14,103,094	12	
6 Irrigation and/or drainage pumping	\$4,227	\$18,689			56,553	228,763	8	
7 Public Street Lighting	\$2,438	\$17,066			72,518	510,810	3	
8 Interdepartmental	\$5,044	\$34,917					28	
9 Self Consumed	\$258	\$1,816			3,401	23,949	3	
10								
11								
12 Total (1 thru 11)	\$443,614	\$3,009,519			7,530,858	48,273,281	2,717	
INCOME STATEMENT								
OTHER REVENUES								
13 Pole Use	\$6,093	\$7,843				\$452,427		\$3,035,332
14 Connects	\$2,745	\$7,438						
15 Conservation		\$9,279				\$396,600		\$2,374,713
16 Misc. Electric Revenue	(\$25)	\$1,253				\$40,235		\$281,645
17 Total Misc. Revenue (13 thru 15)	\$8,813	\$25,813						
18 Total Operating Revenue (12 + 16)	\$452,427	\$3,035,332				\$22,621		\$156,323
OPERATING EXPENSES								
19 Generation	\$22,529	\$135,232				\$1,980		\$21,290
20 Power Purchases - BPA	\$250,693	\$1,440,684				\$30		\$59,132
21 Power Purchases - Other								
22 Maintenance - General Property	\$5,233	\$34,792				\$2,010		\$80,422
23 Conservation		\$5,318				(\$6,999)		\$293,417
24 Customer's Svc & Record	\$3,844	\$25,989						
25 Total Ops & Treatment Expense								
26 Administrative and General	\$62,486	\$401,613						\$18,031
27 Transmission	\$811	\$22,566				\$2,603		\$18,218
28 Distribution	\$44,853	\$275,689						
29 Rolling Equipment	\$6,151	\$32,830						
30 Total Operating Expenses(19 thru 29)	\$396,600	\$2,374,713						
19. Total Income deductions (14 thru 18)						\$2,603		\$36,249
20. Net Income (13 minus 19)						(\$9,602)		\$257,168

CITY OF BONNERS FERRY WATER FUND

MONTHLY FINANCIAL AND OPERATING REPORT

REPORT FOR THE MONTH OF: *April, 2017*

	DOLLARS		Cubic Feet Sold		# of Cust.
	This Month	Year to Date	This Month	Year to Date	
SALES					
1 Residential	\$52,473	\$365,108	559,479	4,133,310	1,080
2 Commercial - small	\$18,736	\$147,031	281,413	2,278,748	204
3 Commercial - large	\$14,768	\$85,721	229,735	1,514,841	93
4 Interdepartmental	\$367	\$2,857	4,540	61,154	6
5 Wholesale					
6 Industrial	\$361	\$2,467			2
7 Pumping & Drainage	\$81	\$553			1
8 Total (1 thru 7)	\$86,786	\$603,737	1,075,167	7,988,053	1,386
INCOME STATEMENT					
OTHER REVENUES					
9 Bulk Water Sales				This Month	Year to Date
10 Coin Op Sales		\$574		\$95,294	\$616,258
11 Misc. Water Revenue					
13 Connect Fees	\$8,508	\$11,947		\$36,296	\$355,088
14 Grant Revenue					
15 Total Misc. Revenue (9 thru 14)	\$8,508	\$12,521			\$200,690
16 Total Operating Revenue (8 + 15)	\$95,294	\$616,258			
OPERATING EXPENSES					
17 Source of Supply	\$280	\$9,993			\$30,813
18 Pumping	\$1,559	\$7,992			
19 Treatment	\$11,941	\$115,293			
20 Transmission	\$148	\$1,772		\$94	\$689
21 Distribution	\$6,910	\$42,088			\$179,415
22 Line Operation/Maintenance	\$1,057	\$15,234		\$94	\$180,104
23 Meter Maintenance/Reading	\$37	\$5,648		\$25,657	\$209,771
24 Structure Maintenance		\$2,379			
25 Customer Service					
26 Customer Accounting	\$1,645	\$10,159			\$59,914
27 Rolling Equipment	\$1,288	\$8,652			
28 General & Administrative	\$11,431	\$128,596			
29 Conservation					
30 General Property Maintenance		\$7,282			
31 Total Operating Expenses(17 thru 28)	\$36,296	\$355,088		\$0	\$59,914
18. Net Income (13 minus 17)				\$25,657	\$149,857

CITY OF BONNERS FERRY SEWER FUND

MONTHLY FINANCIAL AND OPERATING REPORT

REPORT FOR THE MONTH OF: April, 2017

	SALES	DOLLARS		Cubic Feet Sold		# of Cust.
		This Month	Year to Date	This Month	Year to Date	
1	Residential	\$30,945	\$207,409			997
2	Commercial - small	\$19,120	\$126,069			202
3	Commercial - large	\$11,807	\$77,660			70
4	Interdepartmental	\$30	\$196			1
5	Wholesale					
6	Industrial	\$59	\$391			2
7	Pumping & Drainage					
8						
9	Total (1 thru 7)	\$61,961	\$411,725	0	0	1,272
INCOME STATEMENT						
OTHER REVENUES						
10	Junk or Salvage Sold					
11	Flusher Truck Rental	\$982	\$1,529		\$64,731	\$416,041
12	Misc. Sewer Revenue		\$105			
13	Connect Fees	\$1,788	\$2,682		\$29,434	\$212,811
14	Grant Revenue					
15	Total Misc. Revenue (10 thru 14)	\$2,770	\$4,316		\$5,700	\$39,900
16	Total Operating Revenue (9 + 15)	\$64,731	\$416,041			
OPERATING EXPENSES						
17	Pumping & Lift	\$1,184	\$28,026			
18	Treatment	\$16,484	\$105,375		\$38,371	\$273,513
19	Dredging	\$1,482	\$3,828		\$26,360	\$142,528
20	Transmission		\$4,336		\$103	\$690
21	Distribution	\$2,583	\$16,991			\$161
22	Collection				\$103	\$851
23	Operation Lines		\$1,196		\$26,463	\$143,379
24	Maintenance of Lines		\$117			
25	Structure Maintenance		\$648			
26	Customer Service					
27	Customer Accounting	\$151	\$1,014			
28	Rolling Equipment	\$1,563	\$11,392			
29	General & Administrative	\$5,987	\$39,828			
30	General Property Maintenance		\$60		\$0	\$0
31	Total Operating Expenses(17 thru 30)	\$29,434	\$212,811		\$26,463	\$143,379

City of Bonners Ferry – 2016 Annual Water Quality Report

Water System Information

City of Bonners Ferry
7232 Main Street, P.O. Box 149
Bonners Ferry, Idaho 83805-0149
Public Water System - ID#1110003

Water Treatment Plant Operator – Doug Ladely

Number of Connections – 1,387

Population Served – ~3,200

This report is a summary of last year's water quality for the City of Bonners Ferry water system. Included are details about where your water comes from, what it contains, and how it compares to state and federal standards. We are committed to providing you with information because informed citizens are our best advocates. This report will not be mailed to our customers. However, printed copies may be picked up at Bonners Ferry City Hall. The report can be viewed online at www.bonnersferry.id.gov, by clicking on the *Departments* tab, then by clicking on the *Utilities* tab. The Consumer Confidence Report is listed on the Utilities page under the Water Department heading. Additionally, the public is welcome to attend the Bonners Ferry City Council meetings. Regular meetings are held on the first and third Tuesday of each month at 7:00 PM in Council Chambers at City Hall located at 7232 Main Street.

Water Sources

The City utilizes two surface water sources for their drinking water supply that require filtration and disinfection at the City's Water Treatment Plant (WTP). The primary source is Myrtle Creek, while the Kootenai River provides the City with a secondary source. The City water system is also interconnected with the Cabinet Mountain Water District (CMWD), which utilizes groundwater wells adjacent to the Kootenai River. The Kootenai River and the CMWD sources are rarely used by the City, but do provide good emergency back-up sources. For questions regarding CMWD's Annual Water Quality Report, go to www.cmwd.org/reports/.

Source Water Assessment and its availability

The Idaho Department of Environmental Quality (DEQ) developed a Source Water Assessment for the City which can be obtained at City Hall.

Definitions

- **Action Level:** The concentration of a contaminant, which, if exceeded, triggers treatment, or other requirements that a water system must follow.
- **Initial Distribution System Evaluation (IDSE):** IDSE is an important part of the Stage 2 Disinfection By-Products Rule (DBPR). The IDSE is a one-time study conducted by some water systems, providing disinfection or chlorination, to identify distribution system locations' with concentrations of Trihalomethanes (THMs) and Haloacetic acids (HAAs). Water systems will use results from the IDSE,

in conjunction with their Stage 1 DBPR compliance monitoring data, to select monitoring locations for Stage 2 DBPR. Not all water systems were required to perform an IDSE.

- **Maximum Contamination Level (MCL):** The highest level of a contaminant that is allowed in drinking water. MCLs are set as close to the MCLGs as feasible using the best available treatment technology.
- **Maximum Contamination Level Goal (MCLG):** The level of a contaminant in drinking water below which there is no known or expected risk to health. MCLGs allow for a margin of safety.
- **Maximum Residual Disinfectant Level (MRDL):** The highest level of disinfectant allowed in drinking water. There is convincing evidence that addition of a disinfectant is necessary for control of microbial contaminants.
- **Maximum Residual Disinfectant Level Goal (MRDLG):** The level of a drinking water disinfectant below which there is no known or expected risk to health. MRDLGs do not reflect the benefits of the use of disinfectants to control microbial contamination.
- **NTU – Nephelometric Turbidity Unit,** an increment of turbidity measurement
- **ppb – Parts per billion;** also equivalent ug/L
- **ppm – Parts per million;** also equivalent to mg/L
- **Treatment Technique:** A required process intended to reduce the level of a contaminant in drinking water.
- **Turbidity –** A measure of water clarity

Health Information

Some people may be more vulnerable to contaminants in drinking water than the general population. Immuno-compromised persons such as persons with cancer undergoing chemotherapy, persons who have undergone organ transplants, people with HIV/AIDS or other immune system disorders, some elderly, and infants can be particularly at risk from infections or other health issues. These people should seek advice about drinking water from their health care providers. The Environmental Protection Agency (EPA)/Centers for Disease Control and Prevention (CDC) guidelines on appropriate means to lessen the risk of infection by Cryptosporidium and other microbial contaminants are available from the Safe Drinking Water Hotline at 1-800-426-4791 or <http://www.epa.gov/safewater/hotline/>.

Drinking water, including bottled water, may reasonably be expected to contain at least small amounts of some contaminants. The presence of contaminants does not necessarily indicate that water poses a health risk. More information about contaminants and potential health effects can be obtained by calling the EPA's Safe Drinking Water Hotline at 1-800-426-4791 or <http://www.epa.gov/safewater/hotline/>.

In order to ensure that tap water is safe to drink, the EPA prescribes regulations which limit the amount of certain contaminants in water provided by public water systems. Food and Drug Administration (FDA) regulations establish limits for contaminants in bottled water which must provide the same protection for public health.

Contaminants that may be present in source water before we treat it include:

- **Microbial contaminants,** such as viruses and bacteria, which may come from sewage treatment plants, septic systems, agricultural livestock operations, and wildlife.

- **Inorganic contaminants**, such as salts and metals, which can be naturally-occurring or result from urban storm water runoff, industrial, or domestic wastewater discharges, oil and gas production, mining, or farming.
- **Pesticides and herbicides**, which may come from a variety of sources such as agriculture, urban storm water runoff, and residential uses.
- **Organic chemical contaminants**, including synthetic and volatile organic chemicals, which are by-products of industrial processes and petroleum production, and also can come from gas stations, urban storm water runoff, and septic systems.
- **Radioactive contaminants**, which can be naturally-occurring or be the result of oil and gas production and mining activities.

Level of Detected Contaminants and Associated Health Effect Language

The presence of contaminants in the water does not necessarily indicate that the water poses a health risk. Unless otherwise noted, the data presented in this table is from testing done in the calendar year of the report. In order to ensure that tap water is safe to drink, EPA prescribes regulations which limit the amount of certain contaminants in water provided by public water systems.

Level of Detected Chemical and Radiological Contaminants and Associated Health Effects Language

Unless otherwise noted, the data presented in this water quality table is from testing performed (January 1, 2013 - December 31, 2013).

Contaminant	Violation (Y/N)	MCL	MCLG	Lowest Level Detected	Highest Level Detected	Date Tested	Typical Source of Contamination	Health Effects Language
Chemical and Radiological Contaminants								
Arsenic (ppb)	N	10	0	<3.0	<3.0	10/12/16	Erosion of natural deposits; Runoff from orchards; Runoff from glass and electronics production wastes.	Some people who drink water containing arsenic in excess of the MCL over many years could experience skin damage or problems with their circulatory system, and may have an increased risk of getting cancer.
Nitrate (ppm)	N	10	10	<0.05	<0.05	3 / 2 / 16	Runoff from fertilizer use; Leaching from septic tanks, sewage; Erosion of natural deposits.	Infants below the age of six months who drink water containing nitrate in excess of the MCL could become seriously ill and, if untreated, may die. Symptoms include shortness of breath and blue baby syndrome.

Disinfection and Disinfection Byproducts

The City of Bonners Ferry uses chlorine as a disinfectant. Although chlorine quickly kills most bacteria, it is less effective against organisms such as viruses and parasites. For this reason, water needs to mix with chlorine for a longer time period to kill such organisms. The amount of time necessary, or the contact time, depends on the amount of disinfectant in the water and the temperature of the water. We routinely monitor for disinfectant residual in the distribution system. This measurement tells us whether we are effectively disinfecting the water supply. Disinfectant residual is the amount of chlorine or related disinfectant present in the pipes of the distribution system. If the amount of disinfectant is too low, organisms could grow in the pipes.

Maximum Residual Disinfectant Level:

Contaminant	Violation (Y/N)	MCL	MCLG	Highest Level Detected	Running Annual Average	Sample Frequency	Typical Source of Contamination
Chlorine (ppm)	N	MRDL = 4	MRDLG = 4	2.0	.92	Continuous	Water additive used to control microbes

To meet the Safe Drinking Water Act the City uses chlorine to disinfect your water. However this also produces disinfection by-products that may be harmful when consumed at elevated quantities over extended periods of time. There are 3 separate sampling sites the city uses.

Disinfection Byproducts

Contaminant	Violation (Y/N)	MCL	MCLG	Highest Level Detected	Locational Running Annual Average	Range	Typical Source of Contamination
Total Trihalomethanes (ppb)	N			70.9	Site 1- 44.4	30.5-70.9	By product of drinking water chlorination
	N	80	n/a	70.6	Site 2- 39.1	22.9-70.6	
	N			24.6	Site 3- 16.1	11.8-24.6	
Haloacetic Acid Group 5 (ppb)	N			61.1	Site 1- 40.7	20.2-61.1	By product of drinking water chlorination
	N	60	n/a	54.6	Site 2- 40.7	28.4- 54.6	
	N			37.2	Site 3- 26.9	16.6-37.2	

Site 1-Hatchery Site 2-Kootenai Tribe Site 3- City Hall

Lead Informational Statement (Health effects and ways to reduce exposure)

If present, elevated levels of lead can cause serious health problems, especially for pregnant women and young children. Lead in drinking water is primarily from materials and components associated with service lines and home plumbing. The City of Bonners Ferry is responsible for providing high quality drinking water, but cannot control the variety of materials used in plumbing components.

When your water has been sitting for several hours, you can minimize the potential for lead exposure by flushing your tap for 30 seconds to 2 minutes before using water for drinking or cooking. If you are concerned about lead in your drinking water, you may wish to have your water tested. Information on lead in drinking water, testing methods, and steps you can take to minimize exposure is available from the Safe Drinking Water Hotline or at <http://www.epa.gov/safewater/lead>.

Lead and Copper

Contaminant	Action Level (AL)	MCLG	Date(s) Collected	90th Percentile	No. of sites above AL	Violation Y/N	Possible Source of Contamination	Health Effects Language
Lead (ppb)	15	0	8/31/16	6 See note below	0	N	Corrosion of household plumbing systems: Erosion of natural deposits.	Infants and children who drink water containing lead in excess of the action level could experience delays in their physical or mental development. Children could show slight deficits in attention span and learning abilities. Adults who drink this water over many years could develop kidney problems or high blood pressure.
Copper (ppm)	1.3	1.3	8/31/16	0.069	0	N	Corrosion of household plumbing systems: Erosion of natural deposits.	Copper is an essential nutrient, but some people who drink water containing copper in excess of the action level over a relatively short amount of time could experience gastrointestinal distress. Some people who drink water containing copper in excess of the action level over many years could suffer liver or kidney damage. People with Wilson's Disease should consult their personal doctor.

Note: initial sampling at one of the 12 test sites showed a lead level of 21 ppb, while follow-up sampling at that same site yielded a result of 12 ppb. The follow-up sampling was completed within the recommended timeframe, while the initial sampling exceeded 24 hours.

Turbidity Testing

Turbidity is a measure of the cloudiness of the water. We monitor it because it is a good indicator of water quality. Turbidity has no health effects. However, turbidity can interfere with disinfection and provide a medium for microbial growth. Turbidity may indicate the presence of disease causing organisms. These organisms include bacteria, viruses, and parasites which can cause symptoms such as nausea, cramps, diarrhea, and associated headaches. These symptoms are not caused only by organisms in drinking water. If you experience any of these symptoms and they persist, you may want to seek medical advice.

Turbidity Results:

Turbidity/Units	MCL/TT	MCLG	Highest Level Found	Range	Sample Period	Violation Y/N	Typical Source
Turbidity (NTU)	1 NTU	0	.29	.02 - .29	Continuous	N	Soil runoff
	95% of all samples must be <0.3NTU		>95% of all samples were <0.3 NTU	n/a	Continuous	N	Soil runoff

Coliform Bacteria Monthly Testing

Coliform Samples are procured at three different sample sites from three different Groups of sites that rotate every month. Group one sample sites are taken at the Community Hospital, City Hall and the local Forest Service office. Group two samples are taken at Boundary Tractor, The local Senior Apartments and the Panhandle Health Office. Group three samples are taken at the local Fires Station, Zip Trip, and The Kootenai Tribe.

Contaminants	MCL in MG/L	Source	Positive Y/N	Health Effects Language
Total Coliform Bacteria	If positive, Repeat Sample and Sample above and below positive sample site	Naturally Present in Environment	NO	Coliforms are bacteria that are naturally Present in the Environment and are used as an Indicator that other potentially harmful bacteria are present. Coliforms were found in more samples than allowed and this was a warning of the potential problems.
Fecal Coliform And E.Coli	If positive, Repeat Sample and Sample above and below positive sample site	Human and Animal Fecal waste	NO	Fecal Coliforms and E. Coli are bacteria whose presence indicates that the water may be contaminated with human or animal waste. Microbes in these waters can cause short-term effects such as diarrhea, cramps, nausea, headaches, or other symptoms. They may pose a special health risk for infants, young children and people with severely compromised immune systems.

The City continues to optimize its filtration and disinfection processes with the goal of providing the best possible drinking water to its customers. Should you have any questions and/or comments about your drinking water, please contact either Doug Ladely or John Delaney at (208) 267-4380. Copies of this report are available at Bonners Ferry City Hall located at 7232 Main Street.